



**DEPARTMENT OF COMMUNITY DEVELOPMENT
Design Review Committee Agenda**

Board Meeting Room 250, Goochland County Administration Building

Wednesday, October 5, 2016

Audio amplification devices available upon request

5:30 P.M.

- A. CALL TO ORDER & DETERMINATION OF QUORUM
- B. SCHEDULED APPLICATIONS:
 - 1. **COA-2016-00012** – LJP Properties, LLC (Page Audi): Requesting a COA to review site design, landscaping, signage, and lighting for the proposed Audi Dealership on Assessor's Parcel Numbers 59-1-0-18-T and 59-1-0-17-0. The property is located at 12592 Broad Street Road and is located within the Centerville Village Overlay District.
- C. OTHER BUSINESS
- D. APPROVAL OF MINUTES – January 21, 2016
- E. ADJOURNMENT



GOOCHLAND COUNTY VIRGINIA

DEPARTMENT OF COMMUNITY DEVELOPMENT

To: Design Review Committee
From: Jo Ann Hunter, Principal Planner
Date: September 26, 2016
Subject: COA-2016-00012 Page Audi

COA-2016-00012

Applicant: Jennifer Mullen for LJP Properties, LLC

Project: Audi Car Dealership (landscaping, site design, and lighting only)

LJP Properties, LLC is requesting a Certificate of Approval (COA) for Page Audi Car Dealership to review the landscaping, site design, and lighting. Page Audi was issued a previous COA on January 21, 2016 for the architecture and building materials.

Site Location and Background

The property is located within the Centerville Village Overlay District and is located on the north side of Broad Street directly across from the Route 288 interchange. It is approximately .5 miles west of the Goochland/Henrico line.

The Board of Supervisors rezoned the property to B-1 (Business, General) with proffers in May 2016. The site consists of 18.6 acres and the development will consist of the Audi car dealership and several outparcels for future commercial development. Stormwater management will be shared by all of the properties in the development which is recommended in the Overlay District.

The proposed Audi Dealership will be approximately 47,000 square feet and will have 194 parking spaces and associated automobile display areas. There will be no direct access to Broad Street Road. As part of this development, the applicant will construct a new boulevard style internal road to serve this project and future development. The road will include street trees and sidewalks. This road was recommended as part of the County's Arterial Management Plan (AMP). The AMP study was adopted by the Board of Supervisors and included as part of the Comprehensive Plan. The AMP describes where new roadways and access points are recommended in the Broad Street/Ashland Road corridor. This new road will be directly across from the Route 288 interchange and will be a signalized intersection.

The applicant has spent considerable time and expense purchasing multiple properties in this area to consolidate these parcels into one large project in order to create a coordinated, planned commercial development. The consolidation of these parcels will allow a more cohesive development pattern.

Previous DRC Approval – January 21, 2016

The Design Review Committee (DRC) approved the building materials and architecture for the Audi dealership at their January 21, 2016 meeting with the following conditions (underlining and italics is for emphasis on this particular action):

1. Certificate of Approval is for architecture and building materials only. *The applicant shall obtain COA approval from the Design Review Committee for site design, landscaping, lighting, and signage.*
2. *Architectural elevations and materials shall be substantially similar in size, design, and color as identified as “Option A” prepared by CDR Studio Architects dated Jan. 8, 2016. The version with the living wall is required unless an alternative landscape plan is approved by the DRC at a subsequent meeting.*
3. Natural stone shall be used along the base of all sides of the showroom.
4. All new buildings within the proposed development shall be reviewed by the Design Review Committee for appropriateness.
5. Applicant shall include the following proffers in subsequent zoning case:
 - a. Architectural Treatment. The Property shall be subject to the rules and regulations set forth in Article 22 of the Goochland County Zoning Ordinance, entitled “Centerville Overlay District,” as may be amended from time to time; provided, however split face block shall not be a permitted exterior building material and metal shall not be permitted as a primary exterior building material. For the purposes of this provision, primary shall be deemed to be in excess of thirty (30%) percent of the overall exterior building material with no specific side exceeding more than thirty-five (35%) percent. The exposed exterior front, rear and side walls (above finished grade) of each building on the Property shall be similar in high quality construction and shall have compatible architectural design treatment and materials.
 - b. Refuse Container Enclosures. Enclosures for refuse containers serving any building shall be constructed of finished masonry materials compatible with the exterior building material such enclosure serves with the exception of gates and doors.
 - c. Landscape Plan. *Applicant will proffer a landscape plan and will submit a landscape plan at the DRC meeting for DRC approval.*

Landscaping

Staff has reviewed the landscape plan and finds it generally consistent with the Overlay District. As required in the Overlay District, the applicant has provided the required 35' streetscape buffer along Broad Street which includes plantings that meet the B-1 standards and the additional planting requirements of the Overlay District. The applicant is also proposing street trees (Crepe Myrtles) along the new roadway which will be known as Page Parkway. The landscape plan uses layers of landscaping of different types and heights which will provide enhanced screening. The applicant also provides landscaping in the parking areas as required by the Overlay District.

Staff has the following questions or recommendations regarding the landscape plan:

- Two trees along Page Parkway are on top of pipe structures and need to be relocated
- Landscaping along Three Chopt by the rear parking area are within a utility easement
- The landscaping that is in the public right-of-way will need to meet VDOT landscaping/planting standards
- A 3' evergreen hedge needed around all parking areas – staff would recommend the addition of this type of hedge to 4 areas:
 - the 2nd parking area on Page Parkway,
 - the parking area that backs up to R-3 piece,
 - and around the north and west sides of the rear parking area
- Previous conceptual plans included street trees in the Broad Street median – the applicant should clarify if they will be doing these plantings
- Staff would recommend an evergreen hedge adjacent to car wash boundary – Overlay district prohibits bay doors from facing Broad St. While this is set back from Broad and is a side yard, staff would recommend the evergreen screening to meet the intent of the Ordinance
- Previous plans had pavers in front of building and near service areas – the applicant should clarify if this is included

Living Wall

Condition from the previous approval stated:

Architectural elevations and materials shall be substantially similar in size, design, and color as identified as "Option A" prepared by CDR Studio Architects dated Jan. 8, 2016. The version with the living wall is required unless an alternative landscape plan is approved by the DRC at a subsequent meeting.

The submitted landscape plans do not include the living wall and the applicant is requesting approval for an alternate landscape plan. In lieu of the living wall, the applicant has submitted a heavily landscaped area in front of the wall that includes Arborvitaes, Japanese Hollies, and grasses.

Lighting

The County Code has a dark sky lighting ordinance. The applicant is proposing lighting fixtures that are approved by the International Dark Sky Association. The following revisions are required to meet Code requirements:

- Pole lighting must be reduced to 20'
- Light trespass cannot exceed .5 footcandle at all property lines

Screening

The Overlay District requires all mechanical, heating, ventilation and air-conditioning units, loading docks and trash containers to be screened from the property line view. The roof top equipment will be screened on all four sides with aluminum louvered screens that will match the building. The proposed screening has been used on previous buildings in the Overlay District and is consistent with the Overlay District.

The refuse container will be screened with finished masonry veneer that will match the service portion of the building. The applicant is also using landscaping for additional screening.

Signage

The applicant has identified on the plan the location for the ground mounted sign. The sign is located within the streetscape buffer and meets setbacks from the right-of-way. The applicant has not provided sign elevations. The Overlay District requires signs to be ground mounted with a brick or stone base. Staff would recommend the sign base match the natural stone that will be used in the base of the building. Attached building signage has not been identified at this time. Staff would recommend an administrative review of the sign package.

DRC Action:

The Design Review Committee can approve, deny, or defer action to a later meeting.

If the Design Review Committee is supportive of this Certificate of Approval, staff recommends approval subject to the following conditions:

1. Improvements shall be in substantial conformance with the Landscape Plan submitted by Balzer and Associates dated 9/14/16 with revisions to the landscaping and lighting plan as discussed in this staff report.
2. Sign Package will be reviewed with a subsequent administrative Certificate of Approval application; however, sign base shall match the natural stone of the building.

Section 14. - Development standards for Centerville Village Overlay District.

- (a) *Statement of intent.* Centerville Village is identified in the comprehensive plan as a major village and is designated for economic growth and development. Special standards are needed to encourage orderly development in this area that will not impede the normal traffic flow through this area of the county. The purpose is to encourage quality development that will stabilize and improve property values; protect and enhance the county's attractiveness for future growth; enhance the economic benefits accruing from growth and stimulate complementary development that respects architectural and landscape features that are important in the area.
- (b) *Creation of Overlay District.* The Centerville Village Overlay District is hereby created to provide additional requirements for development in the corridor as defined in order to reduce traffic congestion, avoid distracting visual clutter and preserve the aesthetic values of the district by:
- (i) Encouraging well-planned development sites.
 - (ii) Protecting landowners from possible adverse impacts of adjoining development.
 - (iii) Enhancing the appearance and environment of eastern Goochland County.
 - (iv) Encouraging quality business development with landscaping to reduce the visual impacts of development.

Boundaries. This district shall generally comprise the parcels on either side of Broad Street Road (Route 250) beginning from the Henrico County Line west to a point one thousand five hundred (1,500) feet west of the intersection of Broad Street Road and Manakin Road; parcels along Plaza Drive, St. Matthews Lane and Hockett Road, except for property zoned M-1 as of November 7, 2012; and the area generally comprising the parcels on either side of Ashland Road (Route 623) from Broad Street Road (Route 250) to the Ashland Road/Interstate 64 interchange in the Centerville Village. This area shall be superimposed over the Goochland County Zoning Maps to delineate the district.

- (c) *Purpose of the development standards.* The standards are designed to promote quality business development in the primary growth corridor of the county. The standards will provide for architectural elements, site design, signage, landscape features, special setbacks for buildings and parking areas and encourage shared access for adjoining properties and the proper spacing for curb cuts to access the primary road. The standards for the Centerville Village Overlay District are cited below in subsections (d) through (e).
- (d) *Site Design Standards.*

(i) *General.*

- (1) Design shall be sensitive to the natural landscape, preserve mature trees when possible, and contribute to an organized development plan.
- (2) Arcades, colonnades, or other architectural features shall be used to unify groups of buildings within a development.
- (3) Underground utilities are encouraged.
- (4) Stormwater best management practices that serve multiple small acreage parcels are encouraged.

(ii) *Scale.*

- (1) Buildings shall be designed at a pedestrian scale (i.e., emphasis on pedestrian oriented access, rather than automobile).
- (2) Massive facades (greater than one hundred (100) feet in length) shall use architectural treatments (i.e., changes in color and/or materials, modulation of width and depth) to break up the monotony.

(iii) *Streetscape buffers.*

- (1) Streetscape buffers with a minimum width of thirty-five (35) feet shall be required for all new development along arterial and collector roads (as defined in Goochland County Subdivision Ordinance, Article 10, Access Management). The buffer shall begin at the private property line and extend into the property. A landscape plan drawn to scale shall be submitted to the planning department for approval prior to the installation. This requirement is for all types of development except for single-family residences.
- (2) Streetscape buffers shall contain the landscaping materials required in the underlying zoning district as well as both of the following:
 - a. One (1) tree (2½-inch caliper) per one thousand (1,000) square feet and one (1) shrub (eighteen (18) inches to twenty-four (24) inches) per seventy-five (75) square feet. The entire buffer shall be mulched or sodded.
 - b. Vegetation planted in the streetscape buffer shall be of a type and/or planted so as not to interfere with overhead or underground utility lines when fully grown. All landscaping shall adhere to sight distance requirements as determined by VDOT.

(3)

If required by other provisions of the Zoning Ordinance, sidewalks, utility easements, signs, and certain stormwater best management structures that encourage infiltration such as, but not limited to, a bioretention pond, may be located in the streetscape buffer. Wet ponds shall not be allowed within the streetscape buffer.

- (4) Property owners are responsible for all maintenance, repair, and replacement of required landscaping.

(iv) *Parking lots.*

- (1) Parking lot construction shall consist of asphalt, concrete, pavers or surface treatment.
- (2) Parking lots over twenty (20) spaces shall have ten (10) square feet of landscaping per parking space.
- (3) Landscape islands shall be at least one hundred and sixty-two (162) square feet in area and contain one (1), two (2) inch caliper tree and four (4), (eighteen (18) to twenty-four (24) inch) shrubs.
- (4) Break up parking areas within a development by implementing one (1) or more of the following concepts:
 - a. No more than a double row of parking along street frontage.
 - b. Distribute parking areas on all sides (front, rear, side) of the building.
 - c. Increase interior parking lot landscaping to fifteen (15) square feet of landscaping per parking space (instead of the standard ten (10) square feet.
 - d. Utilize low-impact development practices within the parking areas to address stormwater runoff.
- (5) Encourage designs that enhance groundwater recharge.

(v) *Access.*

- (1) *Circulation.* Allowing access to development sites is required. Site access and circulation should be planned according to the Goochland County Subdivision Ordinance, Article 10, Access Management.
- (2) *Outparcel access.* Outparcels that are part of a larger development should maximize access to internal roads.
- (3) *Pedestrian access.* Pedestrian access between and within sites shall be required. Incorporate sidewalks along Route 250 within the streetscape buffer and along other roads, where appropriate. A minimum of a two (2) foot buffer strip between the sidewalk and curb is required.

(4) *Bay doors.* Uses that incorporate bay doors (garages or other similar uses including loading/unloading facilities) shall orient the doors so that they do not face Broad Street Road. Access may be obtained from the side or rear of the structure.

(vi) *Lighting.* Exterior lighting shall be:

- (1) Dark sky compliant.
- (2) Minimized to prevent spillover lighting onto adjacent property.
- (3) Compatible in height and scale with buildings and site design.

(vii) *Building and parking lot setbacks.* Reduced setbacks that contribute to a pedestrian-friendly orientation shall be permitted in the village overlay districts. The following building setbacks shall supersede underlying zoning setback requirements.

- (1) Building setbacks for arterial and collector roads (as defined in the Goochland County Subdivision Ordinance, Article 10, Access Management) shall be thirty-five (35) feet (width of streetscape buffer) from the right-of-way.
- (2) Building setbacks for all other local roads not listed as an arterial or collector (as defined in Article 10, Access Management) shall be twenty (20) feet from the right-of-way.
- (3) Building setbacks from non-road frontage lot lines shall be determined by the adjacent zoning district.
 - a. If the adjacent zoning district is commercial or industrial, the building setback shall be ten (10) feet from the right-of-way.
 - b. If the adjacent zoning district is residential or agricultural, the building setback shall be thirty (30) feet from the right-of-way. To adequately screen commercial uses, a minimum of double row of six-foot evergreen trees shall be maintained or an equivalent landscaping plan to be approved by the planning department.

(e) *Architectural standards.*

(i) *General building style.*

- (1) Materials, colors and the general style of buildings shall be coordinated within a development.
- (2) Building design shall incorporate features used in the traditional villages of Centerville or Courthouse, such as, but not limited to pitched roofs, limited height, porches, cupolas, columns and smaller scaled windows. Larger developments shall apply these design elements where practicable.
- (3) Use compatible architectural features and relate components to adjacent buildings.

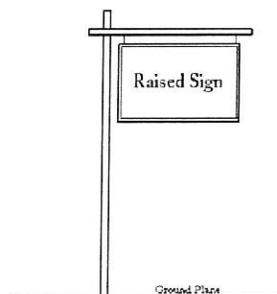
- (4) Use building materials and patterns to complement the area's character in terms of color, scale and texture.
- (5) All sides of the building shall have a unified appearance, i.e., similar building materials and/or colors.

(ii) *Approved building materials.*

Building Exterior	Brick (bare or painted) Natural or Faux Stone Exterior Insulation Finishing System (EIFS) (as accent only) Splitface block Cement Siding Glass (as accent only)
Trim	Vinyl Metal Wood Stone Brick Other materials as approved
Roof	Wood Slate Standing seam metal Dimensional shingles (fiberglass or asphalt)
Signs	Ground-mounted signs - brick base - stone base Raised signs - May hang from a pole and frame as illustrated below

- (iii) *Fencing.* No chain link fencing or wood privacy fencing shall be used within the corridor. Fencing shall be constructed of durable, low maintenance materials.
- (iv) *Screening requirements.* All mechanical, heating, ventilation and air-conditioning units, loading docks and trash containers shall be screened from the property line view.
- (v) *Roof treatment.* Designs with a residential style and scale are preferred. Massive rooflines should be broken up (i.e., mixing different roof types, dormers, balconies). Flat roofs are discouraged where practical. If a flat roof is used, a parapet wall shall be used to the extent necessary to screen roof top equipment.
- (vi) *Signage requirements.*

- (1) Only ground-mounted and building mounted signs which utilize a color and design that is complementary to the building will be allowed. Ground-mounted signs shall not exceed ten (10) feet in height.



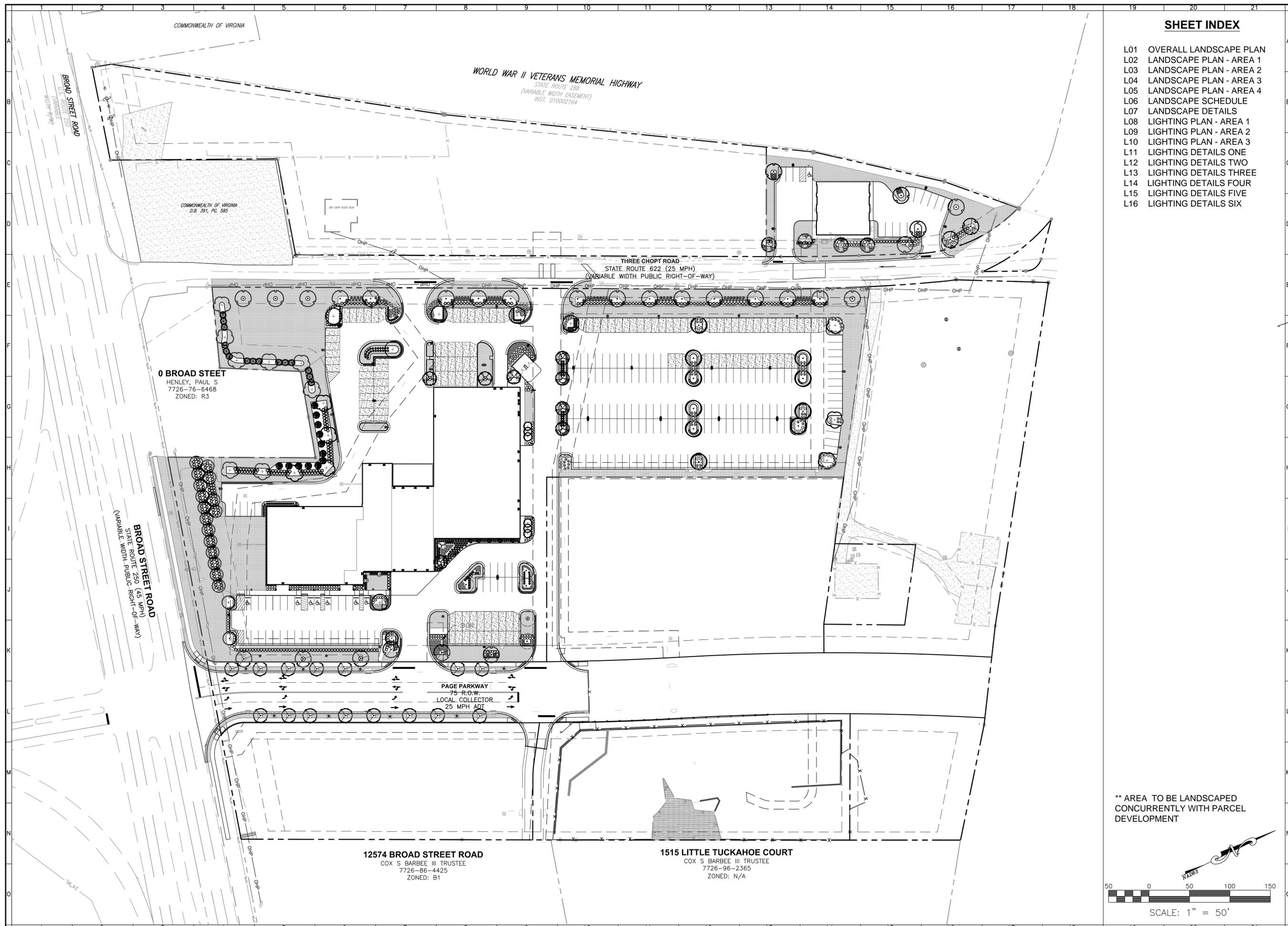
- (2) In instances where more than one (1) business is located in the same building or connected buildings, the businesses must share one (1) common ground-mounted sign. Each business may still have an individual building-mounted sign. Multiple locations may be allowed for shopping centers and office parks.
 - (3) Raised signs shall be ten (10) feet or less in height and ten (10) square feet or less in sign area.
 - (4) Lighted signs shall be turned off after business hours or dimmed to the extent possible to minimize light pollution.
- (vii) *Fuel pump canopies.*
- (1) Fuel pump canopies may be required to provide customers with protection from the elements and to provide lighting levels required for dispensing fuel. Such fuel pump canopies are functional elements of present-day gas/convenience stores and their character and appearance shall reflect a minimalist design consistent with that function.

- (2) The size of the canopy fascia and canopy support columns shall be in proportion to the overall size of the canopy structure. The fascia shall not exceed thirty-six (36) inches in height, including any accent bands.
- (3) Canopy fascias and canopy signage shall not be illuminated.
- (4) Lighting of fuel pump canopies shall be of the lowest level that will provide safe dispensing of fuel. All canopy lighting shall be flush-mounted and shielded, downward directed, and shall not emit light above the horizontal plane.
- (5) Canopy-related elements, including fuel dispensers, support columns, spandrels, planters, etc. shall be compatible with the character of the building and site and shall not be used for advertising.
- (6) The architectural elements of a building should not be altered to reflect trademark canopy design.
- (7) Colors, materials, forms, and detailing may be used to coordinate canopies with a site, its building(s), and structures. Colors should be subdued and cannot be the advertisement for the business.
- (8) Fueling stations associated with other uses, such as a grocery store, shall not be located in the front yard.

(Ord. of 9-7-04; Ord. of 12-5-06(1); Ord. of 11-7-12(2), § 1; Ord. of 6-4-13(3), § 1)

Editor's note— Ordinance of Sept. 7, 2004, amended Art. 18B in its entirety. Former Art. 18B has been incorporated as § 14 of this Art. 22. Formerly, Art. 18B pertained to similar subject matter and derived from an ordinance adopted Sept. 4, 2001.

Subsequently, § 1 of an ordinance adopted June 4, 2013, changed the title of § 14 from "Development standards for Route 250 (Broad Street Road)" to "Development standards for Centerville Village Overlay District."



SHEET INDEX

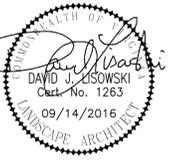
- L01 OVERALL LANDSCAPE PLAN
- L02 LANDSCAPE PLAN - AREA 1
- L03 LANDSCAPE PLAN - AREA 2
- L04 LANDSCAPE PLAN - AREA 3
- L05 LANDSCAPE PLAN - AREA 4
- L06 LANDSCAPE SCHEDULE
- L07 LANDSCAPE DETAILS
- L08 LIGHTING PLAN - AREA 1
- L09 LIGHTING PLAN - AREA 2
- L10 LIGHTING PLAN - AREA 3
- L11 LIGHTING DETAILS ONE
- L12 LIGHTING DETAILS TWO
- L13 LIGHTING DETAILS THREE
- L14 LIGHTING DETAILS FOUR
- L15 LIGHTING DETAILS FIVE
- L16 LIGHTING DETAILS SIX



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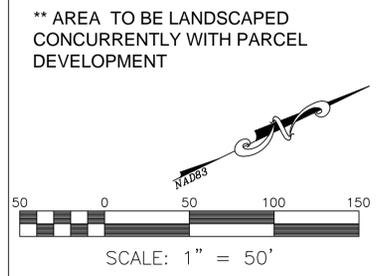
Balzer and Associates, Inc.
 15871 City View Drive, Suite 200
 Midlothian, VA 23113
 804-794-0571
 FAX 804-794-2635



WEST BROAD AUDI
 12592 BROAD STREET ROAD
OVERALL LANDSCAPE PLAN
 DISTRICT 4
 GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
 DESIGNED BY DJL
 CHECKED BY DJL
 DATE 06/13/2016
 SCALE 1" = 50'

REVISIONS:
 08-09-2016
 09-06-2016
 09-14-2016



SHEET NO.
L01
 JOB NO. C1300690.00

COMMONWEALTH OF VIRGINIA

WORLD WAR II VETERANS MEMORIAL HIGHWAY
 STATE ROUTE 288
 (VARIABLE WIDTH EASEMENT)
 INST. 010002164

COMMONWEALTH OF VIRGINIA
 D.B. 391, Pg. 585

THREE CHOPT ROAD
 STATE ROUTE 622 (25 MPH)
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

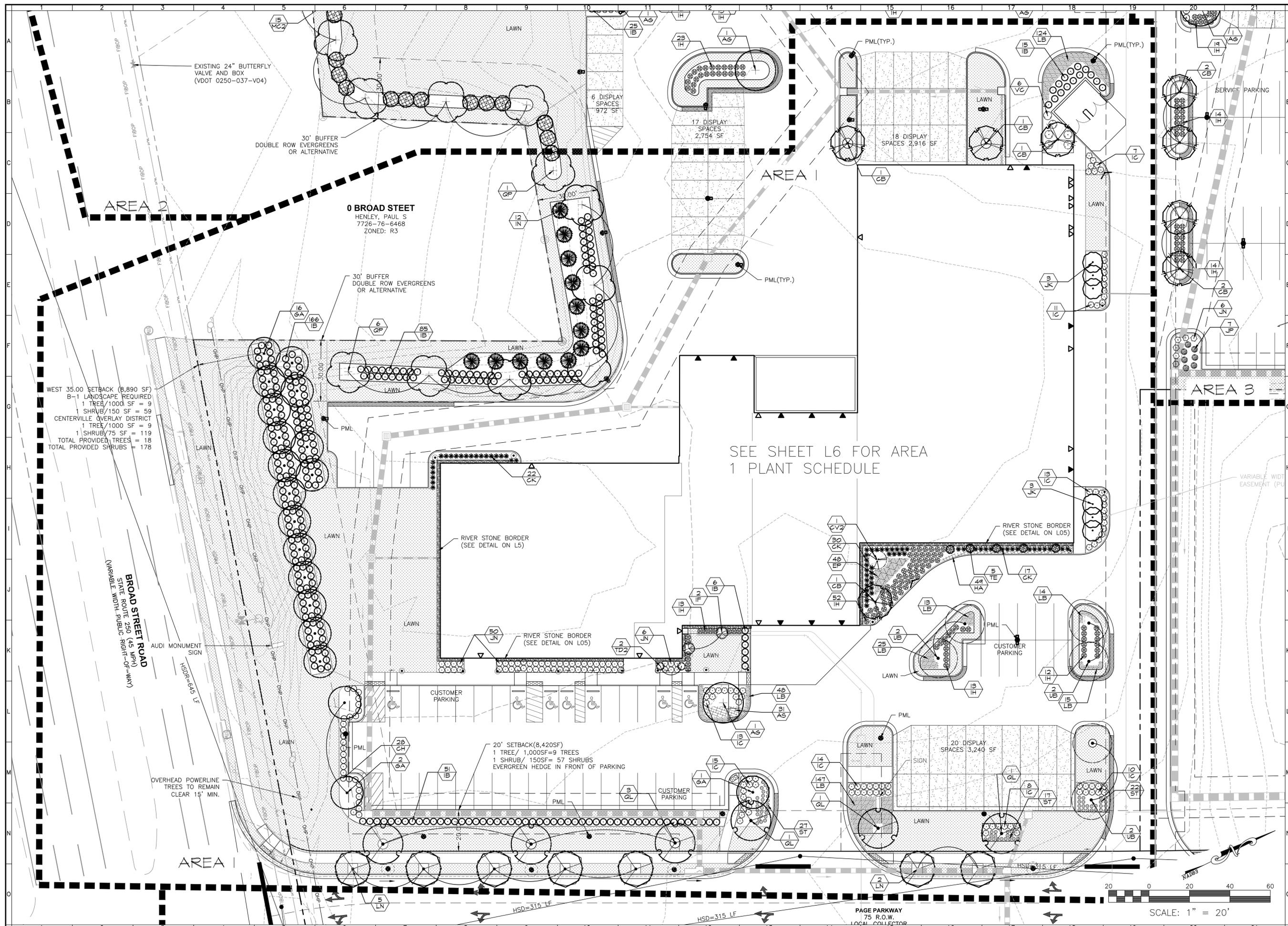
0 BROAD STREET
 HENLEY, PAUL S
 7726-76-6468
 ZONED: R3

BROAD STREET ROAD
 STATE ROUTE 250 (45 MPH)
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

PAGE PARKWAY
 75' R.O.W.
 LOCAL COLLECTOR
 25 MPH ADT

12574 BROAD STREET ROAD
 COX S BARBEE III TRUSTEE
 7726-86-4425
 ZONED: B1

1515 LITTLE TUCKAHOE COURT
 COX S BARBEE III TRUSTEE
 7726-96-2365
 ZONED: N/A



EXISTING 24" BUTTERFLY VALVE AND BOX (VDOT 0250-037-V04)

30' BUFFER DOUBLE ROW EVERGREENS OR ALTERNATIVE

0 BROAD STREET
HENLEY, PAUL S
7726-76-6468
ZONED: R3

30' BUFFER DOUBLE ROW EVERGREENS OR ALTERNATIVE

WEST 35.00 SETBACK (8,890 SF)
B-1 LANDSCAPE REQUIRED
1 TREE/1000 SF = 9
1 SHRUB/150 SF = 59
CENTERVILLE OVERLAY DISTRICT
1 TREE/1000 SF = 9
1 SHRUB/75 SF = 119
TOTAL PROVIDED TREES = 18
TOTAL PROVIDED SHRUBS = 178

BROAD STREET ROAD
STATE ROUTE 250 (45 MPH)
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

AUDI MONUMENT SIGN

OVERHEAD POWERLINE TREES TO REMAIN CLEAR 15' MIN.

RIVER STONE BORDER (SEE DETAIL ON L5)

RIVER STONE BORDER (SEE DETAIL ON L5)

20' SETBACK (8,420SF)
1 TREE/1,000SF=9 TREES
1 SHRUB/150SF=57 SHRUBS
EVERGREEN HEDGE IN FRONT OF PARKING

SEE SHEET L6 FOR AREA 1 PLANT SCHEDULE

RIVER STONE BORDER (SEE DETAIL ON L05)

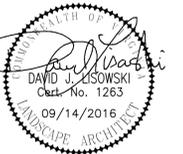
SCALE: 1" = 20'



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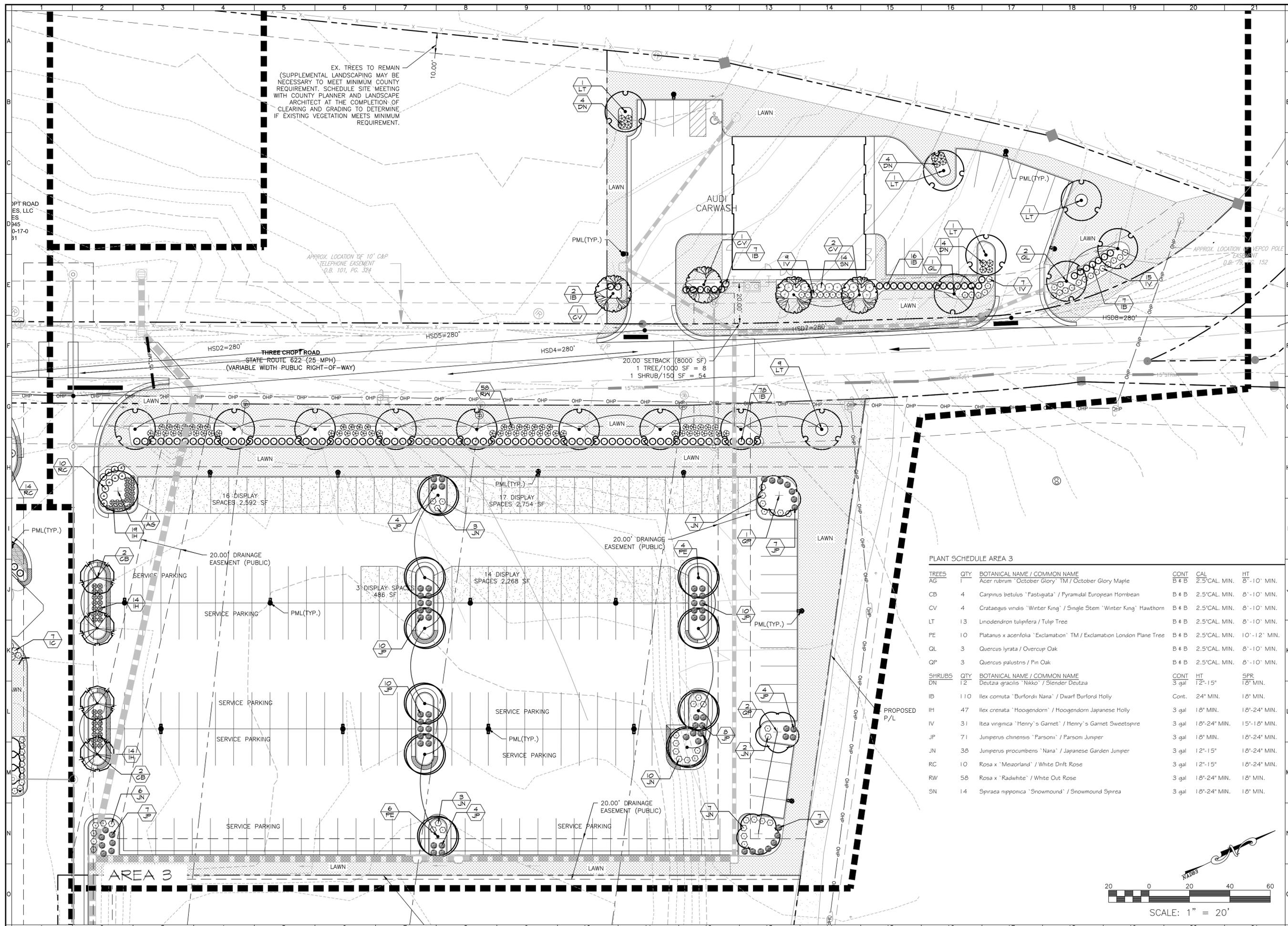
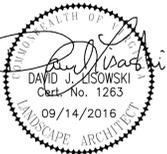
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15871 City View Drive, Suite 200
Midlothian, VA 23113
804-794-0571
FAX 804-794-2635



WEST BROAD AUDI
12592 BROAD STREET ROAD
LANDSCAPE PLAN - AREA 2
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

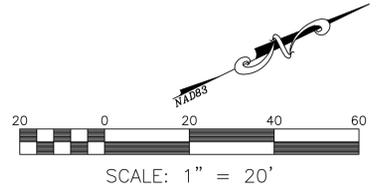
DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE 1" = 20'
REVISIONS:
08-09-2016
09-06-2016
09-14-2016

SHEET NO.
L02
JOB NO. C1300690.00



PLANT SCHEDULE AREA 3

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT
AG	1	Acer rubrum 'October Glory' TM / October Glory Maple	B # B	2.5" CAL. MIN.	8'-10' MIN.
CB	4	Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam	B # B	2.5" CAL. MIN.	8'-10' MIN.
CV	4	Crataegus virdis 'Winter King' / Single Stem 'Winter King' Hawthorn	B # B	2.5" CAL. MIN.	8'-10' MIN.
LT	13	Liriodendron tulipifera / Tulip Tree	B # B	2.5" CAL. MIN.	8'-10' MIN.
PE	10	Platanus x acenifolia 'Exclamation' TM / Exclamation London Plane Tree	B # B	2.5" CAL. MIN.	10'-12' MIN.
QL	3	Quercus lyrata / Overcup Oak	B # B	2.5" CAL. MIN.	8'-10' MIN.
QP	3	Quercus palustris / Pin Oak	B # B	2.5" CAL. MIN.	8'-10' MIN.
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPR
DN	12	Deutzia gracilis 'Nikko' / Slender Deutzia	3 gal	12"-15"	18" MIN.
IB	110	Ilex comuta 'Burfordii Nana' / Dwarf Burford Holly	Cont.	24" MIN.	18" MIN.
IH	47	Ilex crenata 'Hoogendorn' / Hoogendorn Japanese Holly	3 gal	18" MIN.	18"-24" MIN.
IV	31	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire	3 gal	18"-24" MIN.	15"-18" MIN.
JP	71	Juniperus chinensis 'Parsonii' / Parson Juniper	3 gal	18" MIN.	18"-24" MIN.
JN	38	Juniperus procumbens 'Nana' / Japanese Garden Juniper	3 gal	12"-15"	18"-24" MIN.
RC	10	Rosa x 'Meisortland' / White Drift Rose	3 gal	12"-15"	18"-24" MIN.
RW	58	Rosa x 'Radwhite' / White Out Rose	3 gal	18"-24" MIN.	18" MIN.
SN	14	Spiraea nipponica 'Snowmound' / Snowmound Spiraea	3 gal	18"-24" MIN.	18" MIN.

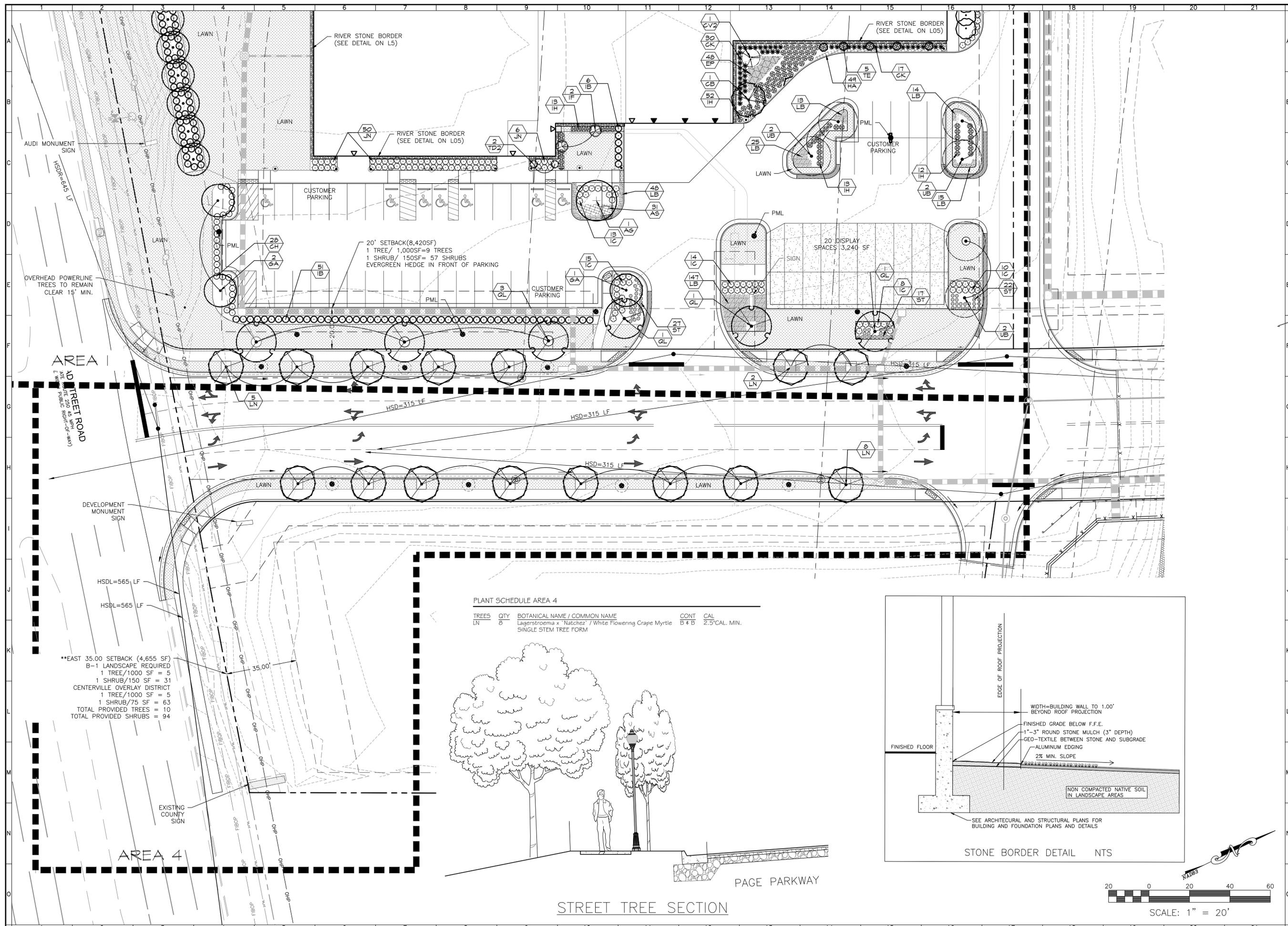
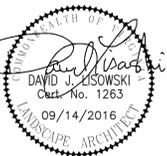


WEST BROAD AUDI
12592 BROAD STREET ROAD
LANDSCAPE PLAN - AREA 3
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE 1" = 20'

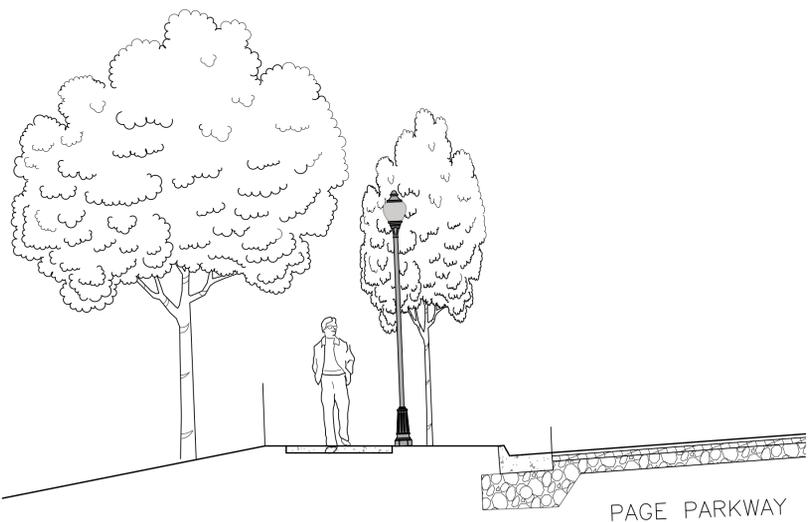
REVISIONS:
08-09-2016
09-06-2016
09-14-2016

SHEET NO.
L04
JOB NO. C1300690.00

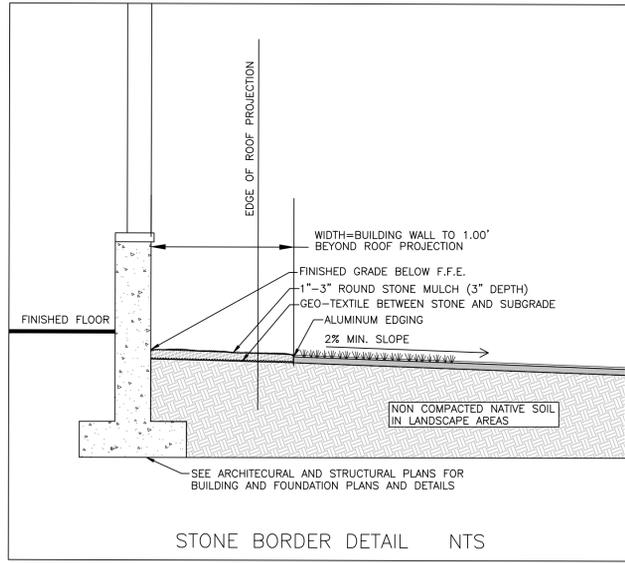


PLANT SCHEDULE AREA 4

TREES LN	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
LN	8	Lagerstroemia x Natchez / White Flowering Crape Myrtle	B * B	2.5" CAL. MIN.
		SINGLE STEM TREE FORM		



STREET TREE SECTION



STONE BORDER DETAIL NTS

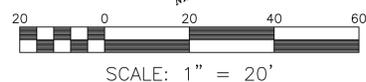
**EAST 35.00 SETBACK (4,655 SF)
B-1 LANDSCAPE REQUIRED
1 TREE/1000 SF = 5
1 SHRUB/150 SF = 31
CENTERVILLE OVERLAY DISTRICT
1 TREE/1000 SF = 5
1 SHRUB/75 SF = 63
TOTAL PROVIDED TREES = 10
TOTAL PROVIDED SHRUBS = 94

WEST BROAD AUDI
12592 BROAD STREET ROAD
LANDSCAPE PLAN - AREA 4
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

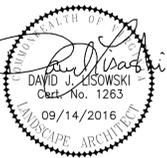
DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE 1" = 20'

REVISIONS:
08-09-2016
09-06-2016
09-14-2016

SHEET NO.
L05
JOB NO. C1300690.00



SCALE: 1" = 20'



WEST BROAD AUDI
12592 BROAD STREET ROAD
LANDSCAPE SCHEDULE
DISTRICT 4
GOOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ

DESIGNED BY DJL

CHECKED BY DJL

DATE 06/13/2016

SCALE NTS

REVISIONS:
08-09-2016
09-06-2016
09-14-2016

SHEET NO.

L06

JOB NO. C1300690.00

PLANT SCHEDULE AREA 1

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPR
AG	1	Acer rubrum "October Glory" TM / October Glory Maple	B # B	2.5" CAL. MIN.		
CB	4	Carpinus betulus "Fastigiata" / Pyramidal European Hornbeam	B # B	2.5" CAL. MIN.		
CV2	1	Chionanthus virginicus / White Fringetree	B # B		7' MIN.	3' WIDE MIN.
GA	19	Ginkgo biloba "Autumn Gold" TM / Maidenhair Tree	B # B	2.5" CAL. MIN.	8'-10' MIN.	3' WIDE MIN.
IF	2	Ilex x "Convive" / Festive Red Holly	B # B		6'-8' MIN.	
IN	12	Ilex x "Nellie R. Stevens" / Nellie Stevens Holly	B # B		6'-8' MIN.	
JK	6	Juniperus chinensis "Kaizuka" / Hollywood Juniper	B # B	2" Cal. Min.	7' MIN.	
LN	7	Lagerstroemia x "Natchez" / White Flowering Grape Myrtle SINGLE STEM TREE FORM	B # B	2.5" CAL. MIN.		
QL	6	Quercus lyrata / Overcup Oak	B # B	2.5" CAL. MIN.		
QP	7	Quercus palustris / Pin Oak	B # B	2.5" CAL. MIN.		
TD2	2	Thuja occidentalis "Degroot's Spire" / Degroot's Spire Arborvitae	B # B		6'-8' MIN.	
TE	5	Thuja occidentalis "Emerald" / Emerald Arborvitae	B # B		7' MIN.	
UB	6	Ulmus parvifolia "Bosque" / Bosque Elm	B # B	2.5" CAL. MIN.		
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPR	
CK	69	Calamagrostis x acutiflora "Karl Foerster" / Feather Reed Grass	3 gal	18"-24"	12"-15"	
CH	28	Cephalotaxus harringtonia "Duke Gardens" / Duke Gardens Plum Yew	CONT. OR B#B	18" MIN.	18"-24" MIN.	
IB	323	Ilex cornuta "Burfordii Nana" / Dwarf Burford Holly	3 gal	18"-24" MIN.		
IC	91	Ilex cornuta "Canssa" / Canssa Holly	3 gal	18" MIN.	8' MIN.	
IH	90	Ilex crenata "Hoogendorn" / Hoogendorn Japanese Holly	3 gal	18"-24" MIN.		
JN	56	Juniperus procumbens "Nana" / Japanese Garden Juniper	3 gal	18" MIN.		
ST	66	Stipa tenacissima / Mexican Feather Grass	1 gal	6"-8"	8' MIN.	
VC	6	Viburnum macrocephalum / Chinese Snowball Viburnum	3 gal	18"-24" MIN.		

GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
	AS	31	Artemisia schmidtiana "Silver Mound" / Silver Mound Artemisia	1 GAL.	21" o.c.
	EP	48	Echinacea x "Pow Wow White" / Pow Wow White Coneflower	1 GAL.	20" o.c.
	HA	49	Heuchera americana "Green Spice" / American Alumroot	1 GAL.	18" o.c.
	LB	386	Liriope muscari "Big Blue" / Big Blue Lilyturf	1 GAL.	18" o.c.

PLANT SCHEDULE AREA 2

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPR
AG	4	Acer rubrum "October Glory" TM / October Glory Maple	B # B	2.5" CAL. MIN.	8'-10' MIN.	
LT	8	Liriodendron tulipifera / Tulip Tree	B # B	2.5" CAL. MIN.	8'-10' MIN.	
MC2	15	Myrica cerifera / Wax Myrtle	B # B		6' MIN.	3' WIDE MIN.
QP	5	Quercus palustris / Pin Oak	B # B	2.5" CAL. MIN.	8'-10' MIN.	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPR	
IB	47	Ilex cornuta "Burfordii Nana" / Dwarf Burford Holly	Cont.	24" MIN.	18" MIN.	
IH	70	Ilex crenata "Hoogendorn" / Hoogendorn Japanese Holly	3 gal	18" MIN.	18"-24" MIN.	
RC	45	Rosa x "Meizerland" / White Drift Rose	3 gal	12"-15"	18"-24" MIN.	
RW	43	Rosa x "Radwhite" / White Out Rose	3 gal	18"-24" MIN.	18" MIN.	

PLANT SCHEDULE AREA 3

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SPR
AG	1	Acer rubrum "October Glory" TM / October Glory Maple	B # B	2.5" CAL. MIN.	8'-10' MIN.	
CB	4	Carpinus betulus "Fastigiata" / Pyramidal European Hornbeam	B # B	2.5" CAL. MIN.	8'-10' MIN.	
CV	4	Crataegus virens "Winter King" / Single Stem "Winter King" Hawthorn	B # B	2.5" CAL. MIN.	8'-10' MIN.	
LT	13	Liriodendron tulipifera / Tulip Tree	B # B	2.5" CAL. MIN.	8'-10' MIN.	
PE	10	Platanus x acenifolia "Exclamation" TM / Exclamation London Plane Tree	B # B	2.5" CAL. MIN.	10'-12' MIN.	
QL	3	Quercus lyrata / Overcup Oak	B # B	2.5" CAL. MIN.	8'-10' MIN.	
QP	3	Quercus palustris / Pin Oak	B # B	2.5" CAL. MIN.	8'-10' MIN.	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	HT	SPR	
DN	12	Deutzia gracilis "Nikko" / Siender Deutzia	3 gal	12"-15"	18" MIN.	
IB	110	Ilex cornuta "Burfordii Nana" / Dwarf Burford Holly	Cont.	24" MIN.	18" MIN.	
IH	47	Ilex crenata "Hoogendorn" / Hoogendorn Japanese Holly	3 gal	18" MIN.	18"-24" MIN.	
IV	31	Itea virginica "Henry's Garnet" / Henry's Garnet Sweetgum	3 gal	18"-24" MIN.	15'-18" MIN.	
JP	71	Juniperus chinensis "Parsonii" / Parson Juniper	3 gal	18" MIN.	18"-24" MIN.	
JN	38	Juniperus procumbens "Nana" / Japanese Garden Juniper	3 gal	12"-15"	18"-24" MIN.	
RC	10	Rosa x "Meizerland" / White Drift Rose	3 gal	12"-15"	18"-24" MIN.	
RW	58	Rosa x "Radwhite" / White Out Rose	3 gal	18"-24" MIN.	18" MIN.	
SN	14	Spiraea nipponica "Snowmound" / Snowmound Spiraea	3 gal	18"-24" MIN.	18" MIN.	

PLANT SCHEDULE AREA 4

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
LN	8	Lagerstroemia x "Natchez" / White Flowering Grape Myrtle SINGLE STEM TREE FORM	B # B	2.5" CAL. MIN.

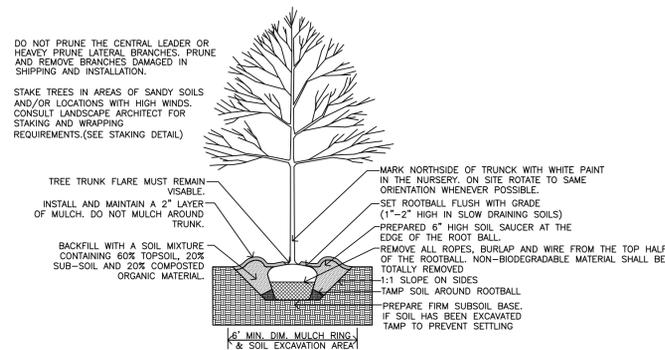
LANDSCAPE SPECIFICATIONS

- PLANT MATERIAL NAMES ARE IN COMPLIANCE WITH HORTUS THIRD SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK. PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- ALL WORK SHALL BE COORDINATED WITH TRADES.
- USE EXISTING TOPSOIL AND/OR PROVIDE NEW TOPSOIL, WHICH IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, FOREIGN MATTER AND ROOTS, STUMPS AND STONES LARGER THAN 2" IN DIMENSION.
- CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL MAINTAIN PLANT MATERIAL DURING INSTALLATION. MAINTENANCE SHALL BECOME RESPONSIBILITY OF OWNER UPON ACCEPTANCE OF WORK.
- WHERE THE LANDSCAPE WORK IS COMPLETED, THE OWNER'S REPRESENTATIVE WILL, UPON WRITTEN REQUEST, MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. IF WORK IS NOT ACCEPTABLE, REPLACE REJECTED WORK AND CONTINUE MAINTENANCE UNTIL REINSPECTION AND APPROVAL.
- GUARANTEE ALL MATERIALS AND LABOR FOR 12 CALENDAR MONTHS AFTER ACCEPTANCE.
 - MAKE REPLACEMENTS OF ALL DEAD PLANTS IN IMPAIRED CONDITIONS IN EARLY FALL FOLLOWING PLANTING.
 - ADD ADDITIONALLY IN THE EARLY SPRING FOR THE SAME OR OTHER MATERIALS WHICH ARE DEAD OR IMPAIRED FROM THE WINTER CONDITIONS.
- WITHIN 10 DAYS AFTER ACCEPTANCE, THE CONTRACTOR SHALL DELIVER AN OUTLINE OF MAINTENANCE PROCEDURES RECOMMENDED FOR THIS PLANTING FOR THE OWNER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY DURING THE GUARANTEE PERIOD TO PROVIDE WRITTEN NOTICE TO THE OWNER OF ANY MAINTENANCE PRACTICE WHICH IN THEIR OPINION WILL AFFECT THE GUARANTEE IF NOT REMEDIED PROMPTLY.
- DO NOT MAKE SUBSTITUTIONS. BID MATERIALS SHOWN ON PLANS. CONTRACTOR IS ENCOURAGED TO PROVIDE WRITTEN ALTERNATE LIST OF MATERIALS, SIZES AND NUMBERS SUBSTITUTION FOR COST-EFFECTIVE MAINTENANCE OF DESIGN INTEGRITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIAL THAT HE/SHE DEEMS UNACCEPTABLE. REJECTED MATERIAL SHALL BE REMOVED PROMPTLY FROM THE SITE.
- IF NECESSARY SELECTIVE CUTTING AND CLEARING SHALL BE PROVIDED IN THE EXISTING WOODED AREAS OF THE DRAINAGE EASEMENT. SELECTIVE CUTTING WITHIN THESE AREAS SHALL BE LIMITED TO THE REMOVAL OF UNDERGROWTH AND TREES ABSOLUTELY NECESSARY FOR THE CONSTRUCTION OF THE DRAINAGE OUTFALL.
- BALLED AND BURLAP PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N. SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED FROM THE CONTAINER.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION.
- ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT.
- ANTI-DESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUG WHILE IN FOLIAGE.
- MULCH MATERIAL SHALL BE EITHER SHREDDED HARDWOOD MULCH OR APPROVED EQUAL MATERIAL SHALL BE MULCHING GRADE, UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

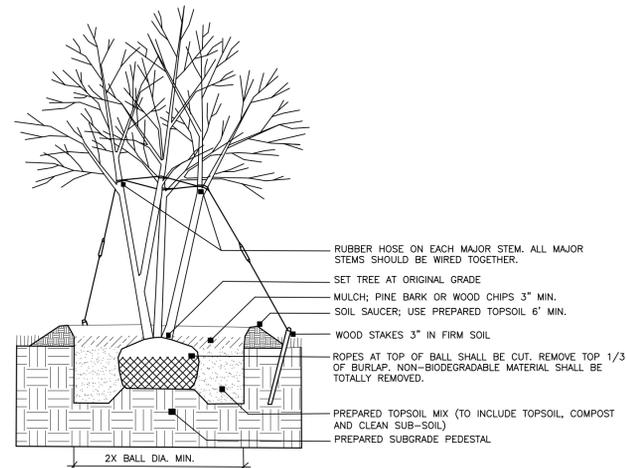
- TOPSOIL MIXTURE SHALL BE 2 PARTS EXISTING SOIL MIXED EVENLY WITH 1 PART SPAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING SOIL SHALL BE FREE OF STONES, LUMPS, PLANTS, ROOTS AND OTHER DEBRIS OVER 1 1/2 INCHES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
- PLANTING PROCEDURES FOR TREES AND SHRUBS
 - PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
 - TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT, BY LIFTING FROM THE BALL (NEVER FROM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT, WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
 - THE TREE PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE AS PER SPECIFICATIONS. THE PIT SHALL BE FILLED HALFWAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING PLANT PIT AND TAMP FIRMLY. BACKFILL SOIL SHALL NOT COVER TOP OF ROOTBALL. MULCH ROOTBALL AND SAUCER WITH MINIMUM OF 3 INCHES SHREDDED OR CHIPPED HARDWOOD OR PINE MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED.

STANDARD NOTES REQUIRED ON LANDSCAPE PLANS

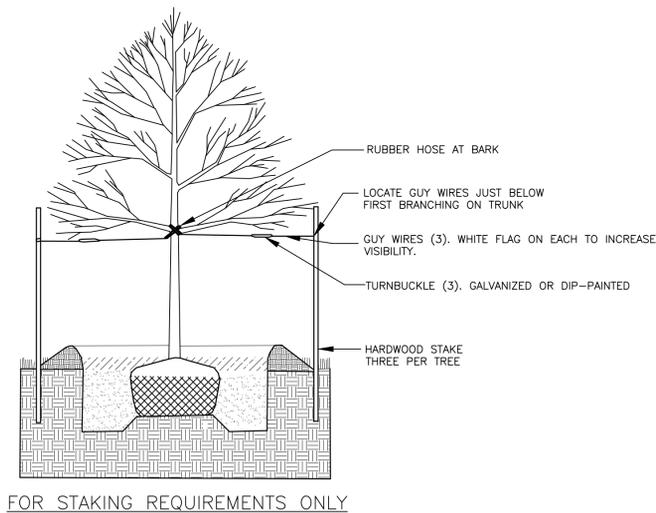
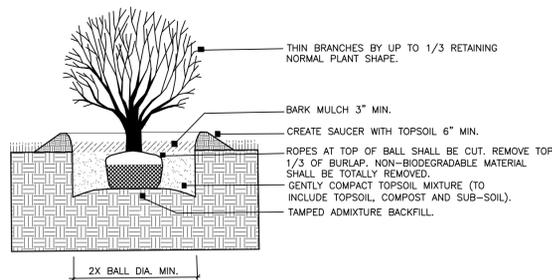
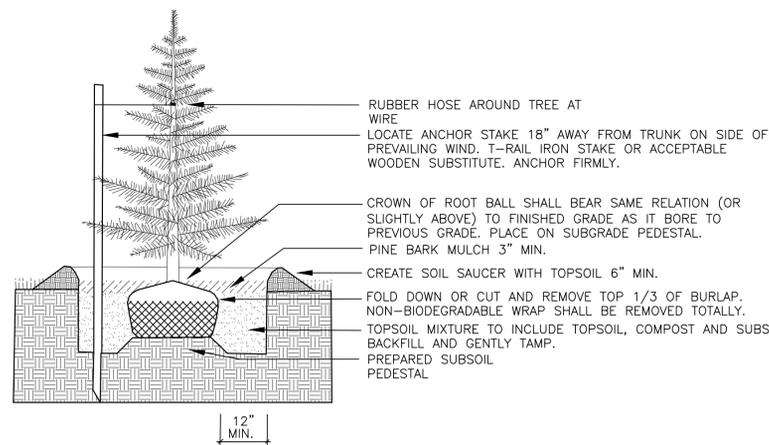
- PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- A CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT "MISS UTILITY" AT 1-800-552-7001.
- NO CHANGES TO PLANT SCHEDULE UNLESS FIRST APPROVED BY GOOCHLAND COUNTY PLANNING DEPARTMENT PLANS REVIEWS SECTION.
- LANDSCAPING WILL BE INSTALLED AND MAINTAINED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREAS AND AT THE ENTRANCE/EXIT LOCATIONS.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH THE APPROVED PLANS BY A SITE REVIEW AGENT OF GOOCHLAND COUNTY PLANNING DEPARTMENT PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES THAT ARE REQUIRED PER APPROVED LANDSCAPING PLANS. DYING OR DEAD PLANT MATERIALS ARE TO BE REPLACED DURING THE NEXT PLANTING SEASON.
- PLANT MATERIALS SHALL HAVE ALL STRINGS OR ROPES AT THE BASE OF THE PLANT CUT AWAY FROM THE TRUNK (INCLUDING BIODEGRADABLE BRANDS OF ROPE).
- NO LANDSCAPING SHALL BE INSTALLED THAT WILL OBSTRUCT ACCESS TO FIRE HYDRANT OR OTHER FIRE HYDRANT CONNECTIONS. A CLEAR AREA OF 3 FEET SHALL BE MAINTAINED AROUND ALL FIRE HYDRANT CONNECTIONS.
- TYPICAL GREEN TRANSFORMERS AND OTHER UTILITY FIXTURES NEED TO BE SCREENED ON THREE SIDES WITH LANDSCAPING (example of screening plant: Ilex cornuta 'Burfordi nano').
- SEEDING AND SODDING PREPARATION AND INSTALLATION PER VIRGINIA NURSERY & LANDSCAPE ASSOCIATION STANDARDIZED LANDSCAPE SPECIFICATIONS LATEST EDITION (SEEDING SECTION 02485) (SODDING SECTION 04287)



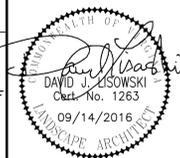
TREE PLANTING DETAIL 2" TO 4" CALIPER TREES IN UNRESTRICTED SOIL CONDITIONS.



TREE PLANTING DETAIL FOR LANDSCAPE ISLAND NEAR BUILDING



FOR STAKING REQUIREMENTS ONLY

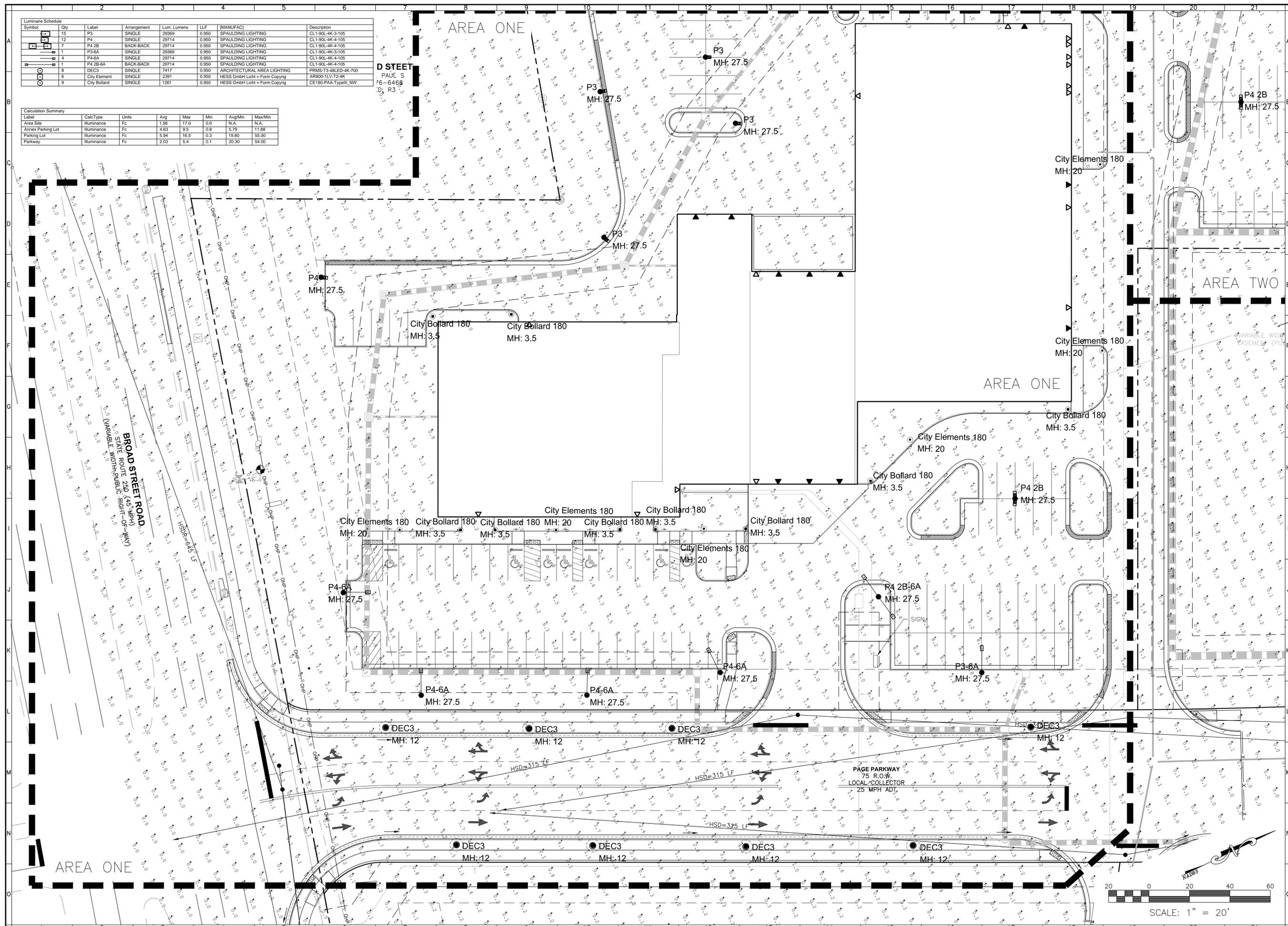


WEST BROAD AUDI
12592 BROAD STREET ROAD
LANDSCAPE DETAILS
DISTRICT 4
GOOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE NTS
REVISIONS:
08-09-2016
09-06-2016
09-14-2016

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	[MANUFAC]	Description
15	P3	SINGLE	29369	0.950		SPAULDING LIGHTING	CL1-90L-4K-3-105
12	P4	SINGLE	29714	0.950		SPAULDING LIGHTING	CL1-90L-4K-4-105
7	P4 2B	BACK-BACK	29714	0.950		SPAULDING LIGHTING	CL1-90L-4K-4-105
1	P4 6A	SINGLE	29369	0.950		SPAULDING LIGHTING	CL1-90L-4K-3-105
4	P4 6A	SINGLE	29714	0.950		SPAULDING LIGHTING	CL1-90L-4K-4-105
1	P4 2B-6A	BACK-BACK	29714	0.950		SPAULDING LIGHTING	CL1-90L-4K-4-105
8	DEC3	SINGLE	7417	0.950		ARCHITECTURAL AREA LIGHTING	PRMS-T3-48LED-4K-700
6	City Element	SINGLE	2391	0.950		HESS GmbH Licht + Form Copyrig	AR900-1LV12-4K
9	City Bollard	SINGLE	1261	0.950		HESS GmbH Licht + Form Copyrig	CE180-PAATypell_NW

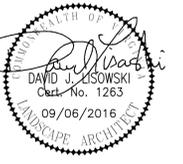
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Area Site	Illuminance	Fc	1.56	17.0	0.0	N.A.	N.A.
Annex Parking Lot	Illuminance	Fc	4.63	9.5	0.8	5.79	11.88
Flanking Lot	Illuminance	Fc	5.94	16.5	0.3	19.80	55.00
Parkway	Illuminance	Fc	2.03	5.4	0.1	20.30	54.00



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 Shenandoah Valley

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 ARCHITECTURE
 STRUCTURAL ENGINEERING
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 TRANSPORTATION ENGINEERING
 ENVIRONMENTAL & SOIL SCIENCE
 WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.
 15871 City View Drive, Suite 200
 Midlothian, VA 23113
 804-794-0571
 FAX 804-794-2635

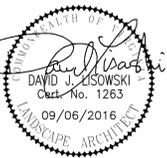


WEST BROAD AUDI
 12592 BROAD STREET ROAD
LIGHTING PLAN - AREA 1
 DISTRICT 4
 GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
 DESIGNED BY DJL
 CHECKED BY DJL
 DATE 06/13/2016
 SCALE 1" = 20'

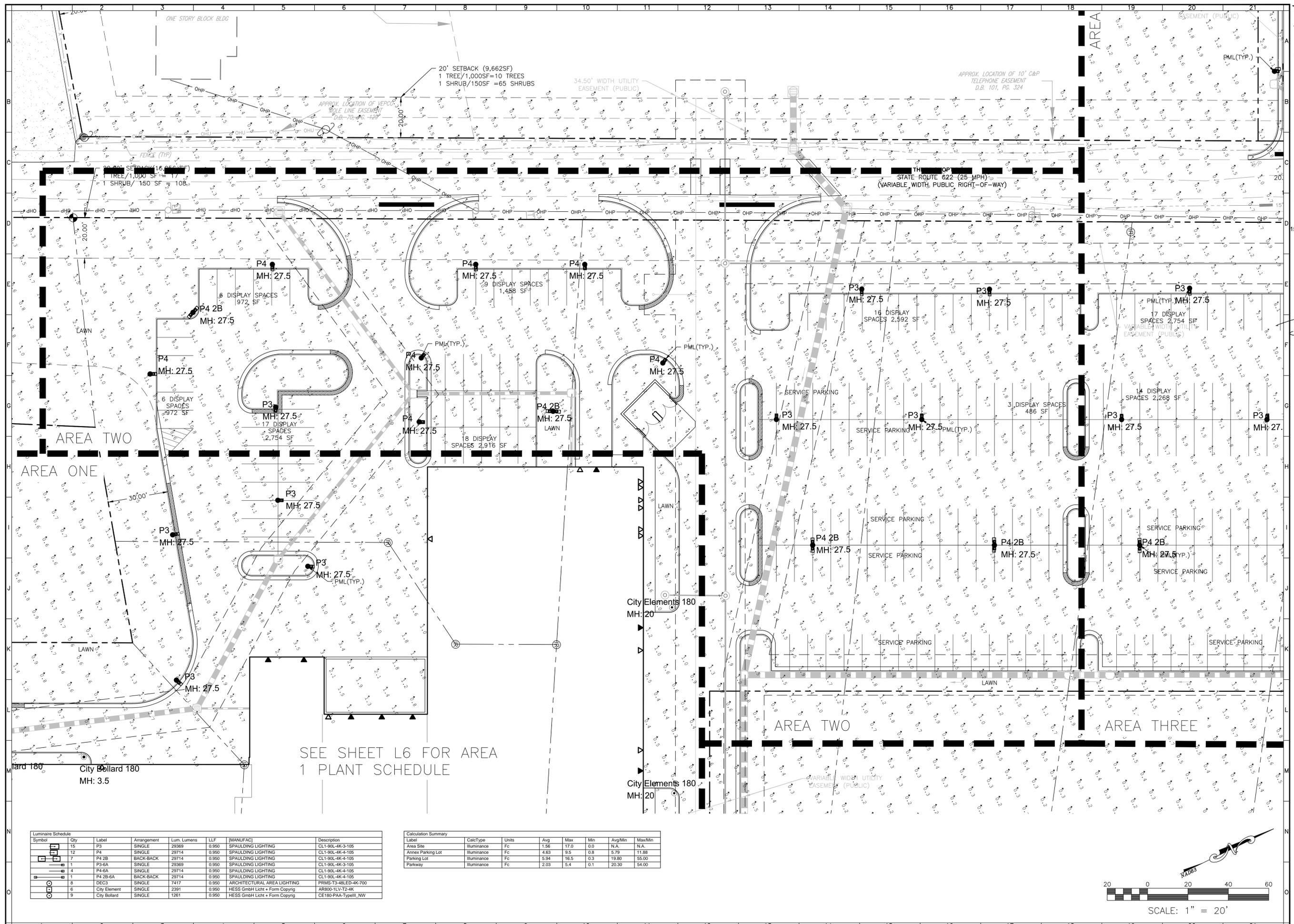
REVISIONS:
 08-09-2016
 09-06-2016

SHEET NO.
L08
 JOB NO. C1300690.00



WEST BROAD AUDI
12592 BROAD STREET ROAD
LIGHTING PLAN - AREA 2
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

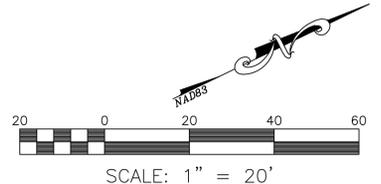
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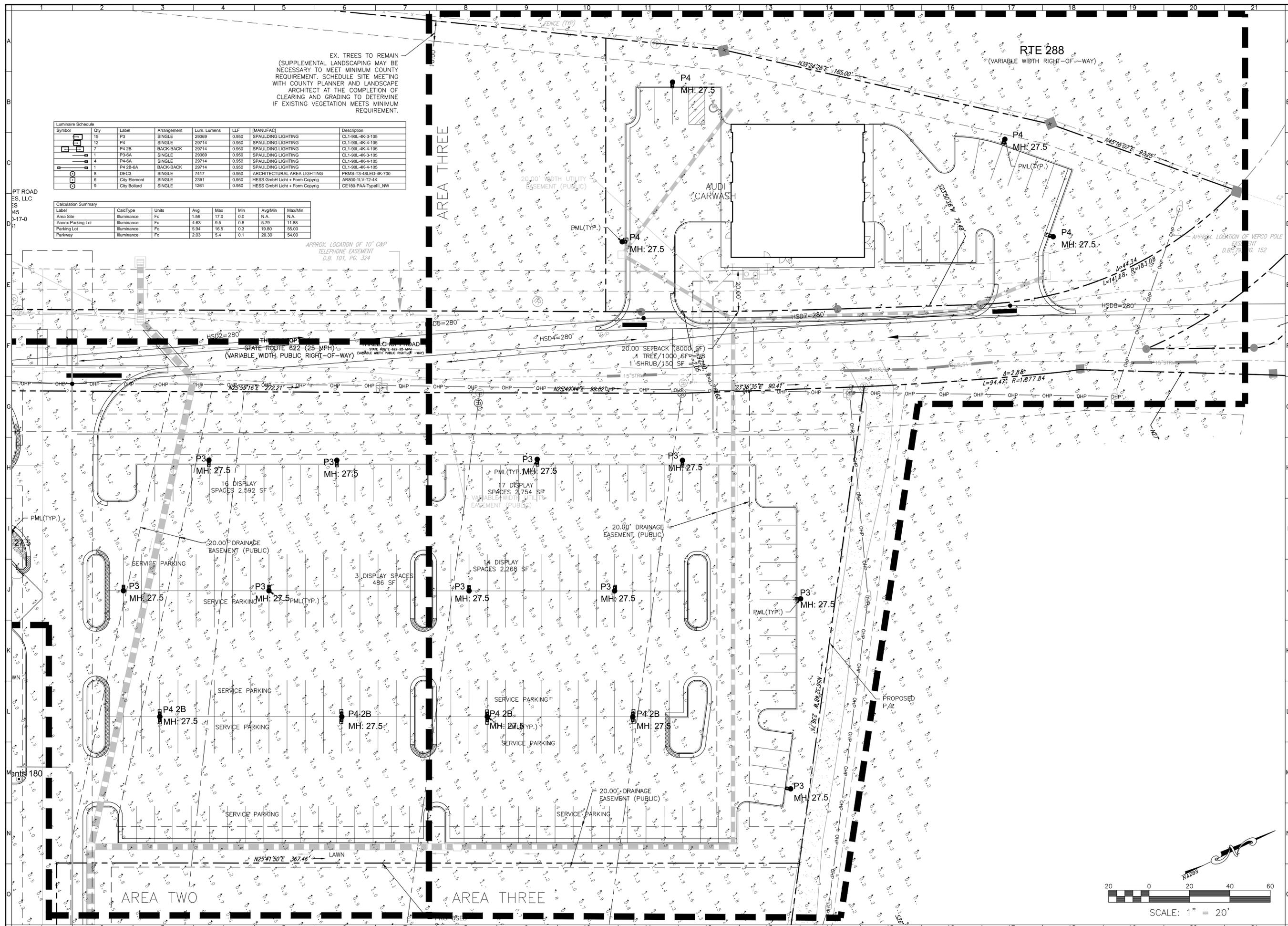
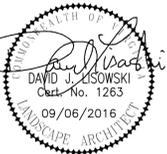


SEE SHEET L6 FOR AREA 1 PLANT SCHEDULE

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	[MANUFAC]	Description
□	15	P3	SINGLE	29369	0.950	SPALDING LIGHTING	CL1-90L-4K-3-105
□	12	P4	SINGLE	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
□	7	P4 2B	BACK-BACK	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
□	1	P3-6A	SINGLE	29369	0.950	SPALDING LIGHTING	CL1-90L-4K-3-105
□	4	P4-6A	SINGLE	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
□	1	P4 2B-6A	BACK-BACK	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
○	8	DEC3	SINGLE	7417	0.950	ARCHITECTURAL AREA LIGHTING	PRMS-T3-4LED-4K-700
○	6	City Element	SINGLE	2391	0.950	HESS GmbH Licht + Form Copying	AR800-1LV-T2-4K
○	9	City Bollard	SINGLE	1261	0.950	HESS GmbH Licht + Form Copying	CE180-PAA-Typell_NW

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Area Site	Illuminance	Fc	1.56	17.0	0.0	N.A.	N.A.
Annex Parking Lot	Illuminance	Fc	4.63	9.5	0.8	5.79	11.88
Parking Lot	Illuminance	Fc	5.94	16.5	0.3	19.80	55.00
Parkway	Illuminance	Fc	2.93	5.4	0.1	20.30	54.00





EX. TREES TO REMAIN
(SUPPLEMENTAL LANDSCAPING MAY BE NECESSARY TO MEET MINIMUM COUNTY REQUIREMENT. SCHEDULE SITE MEETING WITH COUNTY PLANNER AND LANDSCAPE ARCHITECT AT THE COMPLETION OF CLEARING AND GRADING TO DETERMINE IF EXISTING VEGETATION MEETS MINIMUM REQUIREMENT.

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	(MANUFAC)	Description
[Symbol]	15	P3	SINGLE	29369	0.950	SPALDING LIGHTING	CL1-90L-4K-3-105
[Symbol]	12	P4	SINGLE	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
[Symbol]	7	P4.2B	BACK-BACK	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
[Symbol]	1	P3-6A	SINGLE	29369	0.950	SPALDING LIGHTING	CL1-90L-4K-3-105
[Symbol]	4	P4-6A	SINGLE	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
[Symbol]	1	P4.2B-6A	BACK-BACK	29714	0.950	SPALDING LIGHTING	CL1-90L-4K-4-105
[Symbol]	9	DEC3	SINGLE	7417	0.950	ARCHITECTURAL AREA LIGHTING	PRMS-T3-4BL-ED-4K-700
[Symbol]	6	City Element	SINGLE	2391	0.950	HESS GmbH Licht + Form Copyrig	AR800-LV-12-4K
[Symbol]	9	City Bolland	SINGLE	1261	0.950	HESS GmbH Licht + Form Copyrig	CE180-PAA-Typelit_NW

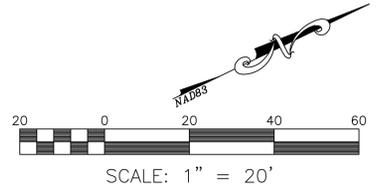
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Area Site	Illuminance	Fc	1.56	17.0	0.0	N.A.	N.A.
Annex Parking Lot	Illuminance	Fc	4.63	9.5	0.8	5.79	11.88
Parking Lot	Illuminance	Fc	5.94	16.5	0.3	19.80	55.00
Parkway	Illuminance	Fc	2.03	5.4	0.1	20.30	54.00

APPROX. LOCATION OF 10' C&P TELEPHONE EASEMENT
D.B. 101, PG. 324

WEST BROAD AUDI
12592 BROAD STREET ROAD
LIGHTING PLAN - AREA 3
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE 1" = 20'

REVISIONS:
08-09-2016
09-06-2016





Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: DB14F12-188-XX
Type: DEC4
Notes: LV-CENTRAL-16-21001

Promenade™ Series LED— PRMS

LUMINAIRE PERFORMANCE

Optical System	Secondary Lens or Diffuser	Distribution	Light Engine	Ordering Code				Beam Spread	Beam Angle	System Watts			
				JK	JK	JK	JK						
Global Lens (Standard)	TYPE 1	T4-48LED	5803	53	2	1	2	7865	69	2	2	3	2
				53	2	1	2	7865	69	2	2	3	2
				53	2	1	2	7865	69	2	2	3	2
				53	2	1	2	7865	69	2	2	3	2
Haze/Side Shield	TYPE 4	T4-48LED_HSS	4244	38	1	1	2	5957	47	1	1	1	1
				38	1	1	2	5957	47	1	1	1	1
				38	1	1	2	5957	47	1	1	1	1
				38	1	1	2	5957	47	1	1	1	1
Diffuse Lens (Standard)	TYPE 2	T4-48LED_GDL	5803	53	2	4	3	6606	59	2	4	3	2
				53	2	4	3	6606	59	2	4	3	2
				53	2	4	3	6606	59	2	4	3	2
				53	2	4	3	6606	59	2	4	3	2
Haze/Side Shield	TYPE 4	T4-48LED_HSS_GDL	3610	32	1	3	3	4825	41	1	3	3	3
				32	1	3	3	4825	41	1	3	3	3
				32	1	3	3	4825	41	1	3	3	3
				32	1	3	3	4825	41	1	3	3	3

MicroCore™

Optical System	Secondary Lens or Diffuser	Distribution	Light Engine	Ordering Code				Beam Spread	Beam Angle	System Watts			
				JK	JK	JK	JK						
Global Lens (Standard)	TYPE 2	T4-48LED	3816	53	1	3	3	4905	69	2	2	3	2
				53	1	3	3	4905	69	2	2	3	2
				53	1	3	3	4905	69	2	2	3	2
				53	1	3	3	4905	69	2	2	3	2
Haze/Side Shield	TYPE 4	T4-48LED_HSS	3197	45	1	2	2	4887	66	2	2	2	2
				45	1	2	2	4887	66	2	2	2	2
				45	1	2	2	4887	66	2	2	2	2
				45	1	2	2	4887	66	2	2	2	2
Diffuse Lens (Standard)	TYPE 5	T4-48LED	3443	45	2	3	2	4999	69	3	2	3	2
				45	2	3	2	4999	69	3	2	3	2
				45	2	3	2	4999	69	3	2	3	2
				45	2	3	2	4999	69	3	2	3	2
Haze/Side Shield	TYPE 4	T4-48LED_HSS_GDL	3291	32	1	3	2	3286	47	1	3	2	2
				32	1	3	2	3286	47	1	3	2	2
				32	1	3	2	3286	47	1	3	2	2
				32	1	3	2	3286	47	1	3	2	2

Electrical Characteristics

Optical System	Ordering Code	LED Drive mA	System Watts	Line Voltage VAC	Driver		Max. Temp. (°C)	Overvoltage Range	Dimming Range	Dimming		Absolute voltage range on 0-10V (α) purple wire	Typical	Max.	Typical	Max.	
					Amperage AC	Power Factor				Min.	Typical						
MicroCore	48LED	300	700	120	20-277	50/60	0.88	α > 0	> 0	0-10V	0-10V	0-10V	0-10V	0-10V	0-10V	0-10V	0-10V

LED COLOR

Ordering Code	Ordering Code		
	JK	JK	JK
48LED	53	53	53

TM-21 LIFETIME CALCULATION

Optical System	Ordering Code	Ambient Environment °C	Projected Lumen Maintenance (% vs. kWh)	Reported L70
MicroCore	48LED	35	15	26
MicroCore	48LED	40	10	20
MicroCore	48LED	45	6	16

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Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: DB14F12-188-XX
Type: DEC4
Notes: LV-CENTRAL-16-21001

DB1 – Decorative Pole

4" ROUND (RD) & FLUTED (FL) DECORATIVE BASE

1. BASE 2. POLE 3. OAH 4. COLOR

MAXIMUM ALLOWABLE (DFA) MFG

DB1	DB2	DB3	DB4	DB5	DB6	DB7	DB8	DB9	DB10	DB11	DB12	DB13	DB14	DB15	DB16	DB17	DB18	DB19	DB20
4" RD x 120" H																			

2. COLOR

W1: Arctic White
W2: Silver
W3: Matte Black
W4: Dark Bronze
W5: Copper
W6: Gunmetal
W7: Titanium
W8: Hammered Brass
W9: Matte Bronze
W10: Matte Gold
W11: Matte Silver
W12: Matte Nickel
W13: Matte Platinum
W14: Matte Rose Gold
W15: Matte Champagne
W16: Matte Charcoal
W17: Matte Navy Blue
W18: Matte Forest Green
W19: Matte Burgundy
W20: Matte Maroon
W21: Matte Teal
W22: Matte Light Blue
W23: Matte Light Green
W24: Matte Light Purple
W25: Matte Light Pink
W26: Matte Light Yellow
W27: Matte Light Orange
W28: Matte Light Red
W29: Matte Light Brown
W30: Matte Light Grey
W31: Matte Light Blue-Grey
W32: Matte Light Green-Grey
W33: Matte Light Purple-Grey
W34: Matte Light Pink-Grey
W35: Matte Light Yellow-Grey
W36: Matte Light Orange-Grey
W37: Matte Light Red-Grey
W38: Matte Light Brown-Grey
W39: Matte Light Grey-Grey
W40: Matte Light Blue-Grey-Grey
W41: Matte Light Green-Grey-Grey
W42: Matte Light Purple-Grey-Grey
W43: Matte Light Pink-Grey-Grey
W44: Matte Light Yellow-Grey-Grey
W45: Matte Light Orange-Grey-Grey
W46: Matte Light Red-Grey-Grey
W47: Matte Light Brown-Grey-Grey
W48: Matte Light Grey-Grey-Grey
W49: Matte Light Blue-Grey-Grey-Grey
W50: Matte Light Green-Grey-Grey-Grey
W51: Matte Light Purple-Grey-Grey-Grey
W52: Matte Light Pink-Grey-Grey-Grey
W53: Matte Light Yellow-Grey-Grey-Grey
W54: Matte Light Orange-Grey-Grey-Grey
W55: Matte Light Red-Grey-Grey-Grey
W56: Matte Light Brown-Grey-Grey-Grey
W57: Matte Light Grey-Grey-Grey-Grey
W58: Matte Light Blue-Grey-Grey-Grey-Grey
W59: Matte Light Green-Grey-Grey-Grey-Grey
W60: Matte Light Purple-Grey-Grey-Grey-Grey
W61: Matte Light Pink-Grey-Grey-Grey-Grey
W62: Matte Light Yellow-Grey-Grey-Grey-Grey
W63: Matte Light Orange-Grey-Grey-Grey-Grey
W64: Matte Light Red-Grey-Grey-Grey-Grey
W65: Matte Light Brown-Grey-Grey-Grey-Grey
W66: Matte Light Grey-Grey-Grey-Grey-Grey
W67: Matte Light Blue-Grey-Grey-Grey-Grey-Grey
W68: Matte Light Green-Grey-Grey-Grey-Grey-Grey
W69: Matte Light Purple-Grey-Grey-Grey-Grey-Grey
W70: Matte Light Pink-Grey-Grey-Grey-Grey-Grey
W71: Matte Light Yellow-Grey-Grey-Grey-Grey-Grey
W72: Matte Light Orange-Grey-Grey-Grey-Grey-Grey
W73: Matte Light Red-Grey-Grey-Grey-Grey-Grey
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W75: Matte Light Grey-Grey-Grey-Grey-Grey-Grey
W76: Matte Light Blue-Grey-Grey-Grey-Grey-Grey-Grey
W77: Matte Light Green-Grey-Grey-Grey-Grey-Grey-Grey
W78: Matte Light Purple-Grey-Grey-Grey-Grey-Grey-Grey
W79: Matte Light Pink-Grey-Grey-Grey-Grey-Grey-Grey
W80: Matte Light Yellow-Grey-Grey-Grey-Grey-Grey-Grey
W81: Matte Light Orange-Grey-Grey-Grey-Grey-Grey-Grey
W82: Matte Light Red-Grey-Grey-Grey-Grey-Grey-Grey
W83: Matte Light Brown-Grey-Grey-Grey-Grey-Grey-Grey
W84: Matte Light Grey-Grey-Grey-Grey-Grey-Grey-Grey
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W98: Matte Light Yellow-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W99: Matte Light Orange-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W100: Matte Light Red-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W101: Matte Light Brown-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W102: Matte Light Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W103: Matte Light Blue-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W104: Matte Light Green-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W105: Matte Light Purple-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W106: Matte Light Pink-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W107: Matte Light Yellow-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W108: Matte Light Orange-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W109: Matte Light Red-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W110: Matte Light Brown-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W111: Matte Light Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W112: Matte Light Blue-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W113: Matte Light Green-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W114: Matte Light Purple-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W115: Matte Light Pink-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W116: Matte Light Yellow-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W117: Matte Light Orange-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W118: Matte Light Red-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W119: Matte Light Brown-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey
W120: Matte Light Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey-Grey

3. OPTIONS / ACCESSORIES

H1: Flange (See Detail for location and use)
F1: Flange (See Detail for location and use)
R1: Flange (See Detail for location and use)
S1: Flange (See Detail for location and use)
T1: Flange (See Detail for location and use)
W1: Flange (See Detail for location and use)
X1: Flange (See Detail for location and use)
Y1: Flange (See Detail for location and use)
Z1: Flange (See Detail for location and use)

VERIFY FINISH

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Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: PRMS-T4-48LED-4K-700-XX
Type: DEC4
Notes: LV-CENTRAL-16-21001

Promenade™ Series LED— PRMS

LUMINAIRE PERFORMANCE

SPECIFICATIONS

HOUSING

- Luminaire housing and lens frame shall be cast aluminum. A505 alloy and sealed with continuous extruded silicone rubber gaskets.
- Outer globe lens shall be one piece clear, injection molded optical grade (PMMA) acrylic sealed to the lens frame with a continuous extruded silicone rubber gasket. Concealed bolt less latch mechanisms shall be stainless steel.
- All internal and external hardware shall be stainless steel or aluminum.
- Optical bezel shall be painted white.

CONTROLS

- SCP shall have an integral surge protection device with a current rating of 10,000 Amps using the industry standard 50/60Hz surge and surge rating of 30/20.
- SCP shall be intended for use with additional photo-control, wireless control or dimming systems.

PHOTOCELL / EGRESS ADAPTERS

- Adapters shall slip over a 4710mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5 (14mm) to the overall height. Adapters shall be provided, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.
- PhotoCell adapter shall include an integral lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature 8-pin MR16 lamps up to 50 watts, lamp by others.

OPTICAL

- Patent pending MicroCore™ LED modules shall independently aim each light emitting diode (LED) in both horizontal rotation and vertical tilt angle.
- LEDs shall be mounted to a metal printed circuit board assembly (PCBA) with a uniform conformal coating over the panel surface and electrical features.
- LED optics shall be clear injection molded PMMA acrylic.
- MicroCore™ PCBAs and optics shall be sealed to a die-cast anodized aluminum heat sink with an injection molded silicone rubber gasket. IP66.
- Type 4 distribution with optional Haze/Side Shield not available with clear or diffused glass lenses.
- Factory installed Haze/Side Shield is optimized for Type 4 distribution and not recommended for use with Type 2 or 3 distribution and not available with Type 5 distribution.

ARM AND POLE MOUNTING

- Standard post top configurations shall slip over a 4710mm O.D. pole and be secured to the pole with three stainless steel set screws.
- Arm or wall mount configurations shall have the bracket welded to luminaire. Wall mount shall not for Arm, Pole & Accessories Specification Guide.

ELECTRICAL

- Luminaires shall have integral surge protection that shall be UL recognized and have a surge current rating of 10,000 Amps. 50/60 Hz industry standard 50/60Hz surge and surge rating of 30/20.
- Drivers shall be UL recognized with a smooth current maximum of 200mA maximum at 230VAC.
- Drivers shall not be compatible with current sourcing dimmers, constant factory for current list of known compatible dimming systems, approved dimmers include Lutron Diva AVTV, Lutron Nova NTV and NTVTV.
- LifeSpan™ shall be provided with all configurations for added protection in the event of abnormally excessive high ambient temperature conditions.

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Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/AR800/1LV-1LEVO-NW-S-UNV-XX
Type: CITY E
Notes: LV-CENTRAL-16-21001

CITY ELEMENTS 180 AR800 LED

City Elements 180 offers design professionals the flexibility of a multi-purpose lighting system in a single architectural structure. It may be configured with a single top element for area lighting and may include up to two additional lighting modules directly below for accenting or highlighting of facades, landscaping, or statuary. Column may be specified with heights up to twenty feet. A companion bollard is also available. Housing styles for the top element may be with 360° lens with a choice of symmetric or asymmetric reflectors or an asymmetric housing for house side shielding. Luminaire housing and extruded aluminum shall with flush handle are finished in finely textured paint. All hardware is stainless steel. Consult on-line Configurator at www.hessamerica.com for additional technical information. CSA Certified for Wet Locations.

Additional information

Mounting Detail

DESCRIPTION

Top element luminaire for City Elements 180 modular light column system.

Consult online configurator to specify complete column system at: http://www.hess-configurator.com/cityelements_us/menu/html/index.html?lang=EN.

HOUSING

Luminaire base and top housing are machined and fabricated from 6061 aluminum tubing with nominal diameter of 7.31" and thickness of 0.395". Clear acrylic cylindrical lens is bonded to base and top housing for a weather tight seal. Top housing assembly includes removable cap for access to optical assembly and heat sink. Gore-text filter prevents intrusion of moisture and particulate matter.

OPTICS

Optics include one LED module assembly mounted within cylindrical clear acrylic lens. The module consists of an aluminum core PCB with fourteen high-power LEDs and a single piece prismatic lens molded from optical quality acrylic. The prismatic lens redirects light output from the individual LEDs and is available in two distributions as Type II (5 optics) or Type III distribution (ME optics). LED circuit boards are equipped with electrical disconnects to allow for future technology upgrades.

ELECTRICAL

Electronic LED driver supplies 500mA drive current to LED modules with input voltage range from 120v to 277v at 50/60Hz. Power consumption is 35 watts.

LED DELIVERED LUMEN OUTPUT

3000K - Type II = 2200 lumens / Type III = 2100 lumens
4000K - Type II = 2300 lumens / Type III = 2280 lumens

BUG RATING

3000K - Type II = B1-U3-G1 / Type III = B1-U3-G1
4000K - Type II = B1-U3-G1 / Type III = B1-U3-G1

MOUNTING

Top element is factory installed to the modular column assembly and ships as a complete column.

FINISH

Housing is cleaned ultrasonically prior to painting. Standard finish is finely textured matte silver grey metallic, dark grey, or graphite grey. Special colors available on request.

WARRANTY

Limited product warranty period including LEDs is five years. Driver shall carry the manufacturer's limited warranty.

CERTIFICATION

CSA Certified for Wet Locations

Specifications are subject to change without notification
HessAmerica > Products > Lighting Products > Illuminating Columns > CITY ELEMENTS 180
http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/CITY_ELEMENTS_180/ Page 3

Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/AR800/1LV-1LEVO-NW-S-UNV-XX
Type: CITY E
Notes: LV-CENTRAL-16-21001

CITY ELEMENTS 180 AR800 LED

City Elements 180 offers design professionals the flexibility of a multi-purpose lighting system in a single architectural structure. It may be configured with a single top element for area lighting and may include up to two additional lighting modules directly below for accenting or highlighting of facades, landscaping, or statuary. Column may be specified with heights up to twenty feet. A companion bollard is also available. Housing styles for the top element may be with 360° lens with a choice of symmetric or asymmetric reflectors or an asymmetric housing for house side shielding. Luminaire housing and extruded aluminum shall with flush handle are finished in finely textured paint. All hardware is stainless steel. Consult on-line Configurator at www.hessamerica.com for additional technical information. CSA Certified for Wet Locations.

Model

Model	Color Temperature	Distribution	Volt	Finish	Option
CE180/AR800/1LV-1LEVO	WW-3000K	ME-Type III	120-277V	SG - Silver Grey	DIM - 0-10VDC
	RW-4000K	S-Type II		DG - Dark Grey	N - None
	CW-5000K			GG - Graphite Grey	
				BL - Black	
				CC - Custom Color	

VERIFY FINISH

Specifications are subject to change without notification
HessAmerica > Products > Lighting Products > Illuminating Columns > CITY ELEMENTS 180
http://www.hessamerica.com/Products/Lighting/Illuminating_Columns/CITY_ELEMENTS_180/ Page 2

Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: PRMS-T4-48LED-4K-700-XX
Type: DEC4
Notes: LV-CENTRAL-16-21001

Promenade™ Series LED— PRMS

LUMINAIRE PERFORMANCE

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Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: PRMS-T4-48LED-4K-700-XX
Type: DEC4
Notes: LV-CENTRAL-16-21001

Promenade™ Series LED— PRMS

LUMINAIRE PERFORMANCE

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Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/AR800/1LV-1LEVO-NW-S-UNV-XX
Type: CITY E
Notes: LV-CENTRAL-16-21001

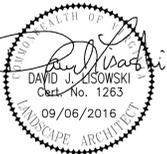
CITY ELEMENTS 180 AR800 LED

City Elements 180 offers design professionals the flexibility of a multi-purpose lighting system in a single architectural structure. It may be configured with a single top element for area lighting and may include up to two additional lighting modules directly below for accenting or highlighting of facades, landscaping, or statuary. Column may be specified with heights up to twenty feet. A companion bollard is also available. Housing styles for the top element may be with 360° lens with a choice of symmetric or asymmetric reflectors or an asymmetric housing for house side shielding. Luminaire housing and extruded aluminum shall with flush handle are finished in finely textured paint. All hardware is stainless steel. Consult on-line Configurator at www.hessamerica.com for additional technical information. CSA Certified for Wet Locations.

RE: Audi West Broad

Type CITY E MFG HessAmerica Part CE180/AR800/1LV-1LEVO-NW-S-UNV-XX
Type CITY B MFG HessAmerica Part CE180/P3.5/AR-1LV-1LEVO-NW-ME-UNV-D-XX

FF00010 Lighting Virginia - Central phone 379-7777 fax 804-379-7778 Page 1/1



WEST BROAD AUDI
12592 BROAD STREET ROAD
LIGHTING DETAIL SIX
DISTRICT 4
GOOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE NTS

REVISIONS:
08-09-2016
09-06-2016

Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/P3/SIAR-1LV-1LEVO-NW-ME-UNV-D-XX
Type: CITY B
Notes: LV-CENTRAL16-21011

CITY ELEMENTS 180 AR LED Specification

.hess

ILLUMINATING bollard is part of the comprehensive CITY ELEMENTS product family. The slender 2" diameter bollard gracefully enhances pedestrian pathways. Mounting options include internal flange or external flange with anchor bolts and mounting plate or base cover. Extruded aluminum shaft and cast aluminum housings are finished in finely textured paint. Standard colors: Matte silver grey metallic, dark grey, graphite grey, or black. Special colors available. All hardware is stainless steel. Consult on-line Configurator at www.hessamerica.com for additional technical information. CSA Certified for Wet Locations.

Model	LED Module	Color Temperature	Distribution	Volt	Mounting	Finish	Option
CE180/P3/AR	1LV-1LEVO Module	WW-3000K	ME-Type III	UNV-120-277V	D-Bollard	Grey	DIM-0-10VDC Dimming
CE180/P3/AR		NW-4000K	S-Type II				DG-Dark Grey/EF-External Flange
CE180/P4/AR		CW-5500K					GG-Graphite/IF-Internal Flange
							GR/IR-Internal GFCI Receptacle
							CC-Custom Color

Ordering Information

Specifications are subject to change without notification
HessAmerica > Products > Lighting Products > Illuminating Bollard > CITY ELEMENTS
http://www.hessamerica.com/Products/Lighting/Illuminating_Bollard/CITY_ELEMENTS/ Page 1

Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/P3/SIAR-1LV-1LEVO-NW-ME-UNV-D-XX
Type: CITY B
Notes: LV-CENTRAL16-21011

CITY ELEMENTS 180 AR LED Specification

.hess

HOUSING
Bollard shaft is extruded from 6063-T6 aluminum with nominal diameter of 2.1" and wall thickness of 0.28". Luminaire consists of upper housing element and cylindrical lens bonded to the bollard shaft. Cylindrical lens is clear acrylic with thickness of 0.15". Optical and electrical unit with machined aluminum cap installs into the luminaire from the top. The removable assembly is secured with a single stainless steel thumbscrew concealed within the bollard shaft and accessed via the hand hole. Single piece silicone gasket provides weather-tight seal when installed. Electrical quick disconnect facilitates ease of maintenance when removing or replacing the assembly. Flush mounted hand hole cover is plasma cut with kerf not to exceed 1/8" and includes triangular tamper-resistant locking device. Machined aluminum flange plate is 1/2" thick and welded to the shaft. Bollard is available in 3', 3.5', and 4' heights. All hardware is stainless steel.

OPTICS
Optics include 1 individual LED module consisting of a field replaceable aluminum core PCB with fourteen high-power LEDs and a single piece prismatic lens molded from optical quality acrylic. The prismatic lens redirects light output from the individual LEDs and is available in two distributions as a Type II (S optics) or Type III distribution (ME optics).

ELECTRICAL
Electronic LED driver supplies 350mA drive current to LED modules with input voltage range from 120v to 277v at 50/60Hz. Power consumption is 18 watts.

LED DELIVERED LUMEN OUTPUT
3000K: Type II = 1232 lumens / Type III = 1266 lumens
4000K: Type II = 1495 lumens / Type III = 1432 lumens

BUG RATING
3000K: Type II = B1-U1-G1 / Type III = B1-U1-G1
4000K: Type II = B1-U2-G1 / Type III = B1-U2-G1

MOUNTING
Bollard with external flange mounts installs onto four 1/2" x 15" x 3" galvanized steel anchors embedded into concrete foundation (by others). Base cover is fabricated from 0.080" spun aluminum and finished to match luminaire. Anchor bolts may be pre-shipped in advance on request.

Internal flange mount installs onto four 1/2" x 15" x 3" galvanized steel anchors embedded into concrete foundation (by others). Anchor bolts may be pre-shipped in advance on request.

FINISH
Standard finish is finely textured matte silver grey metallic, dark grey, graphite grey or black. Special colors available on request.

WARRANTY
Limited product warranty period including the LEDs is five years. Driver shall carry the manufacturer's limited warranty.

CERTIFICATION
CSA Certified for Wet Locations

Specifications are subject to change without notification
HessAmerica > Products > Lighting Products > Illuminating Bollard > CITY ELEMENTS
http://www.hessamerica.com/Products/Lighting/Illuminating_Bollard/CITY_ELEMENTS/ Page 2

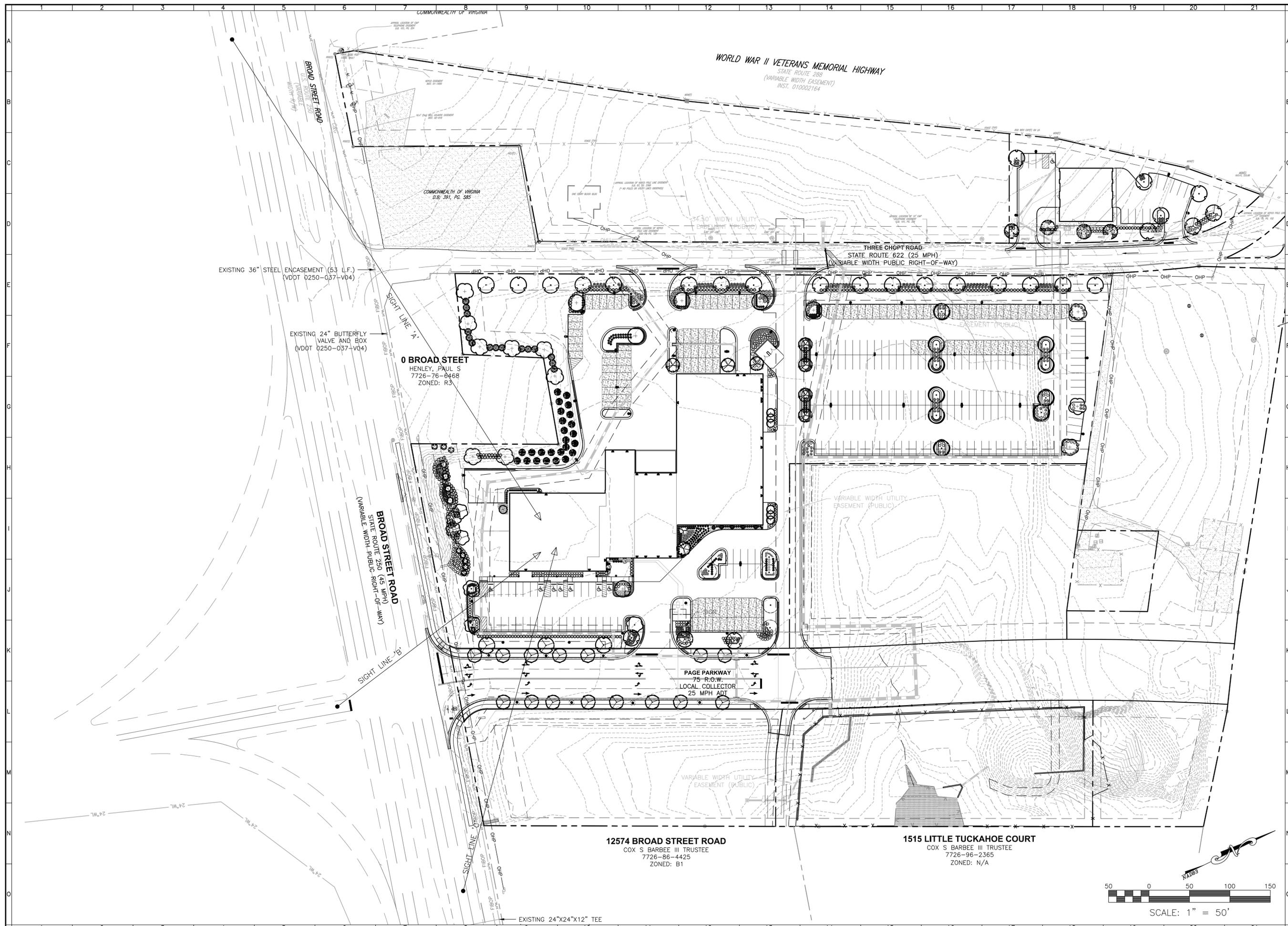
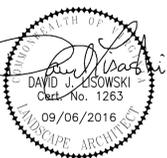
Submitted by Lighting Virginia Central
Job Name: Audi West Broad
Catalog Number: CE180/P3/SIAR-1LV-1LEVO-NW-ME-UNV-D-XX
Type: CITY B
Notes: LV-CENTRAL16-21011

Additional information

.hess

Mounting Detail

Specifications are subject to change without notification
HessAmerica > Products > Lighting Products > Illuminating Bollard > CITY ELEMENTS
http://www.hessamerica.com/Products/Lighting/Illuminating_Bollard/CITY_ELEMENTS/ Page 3

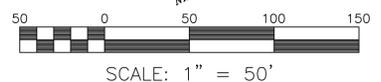


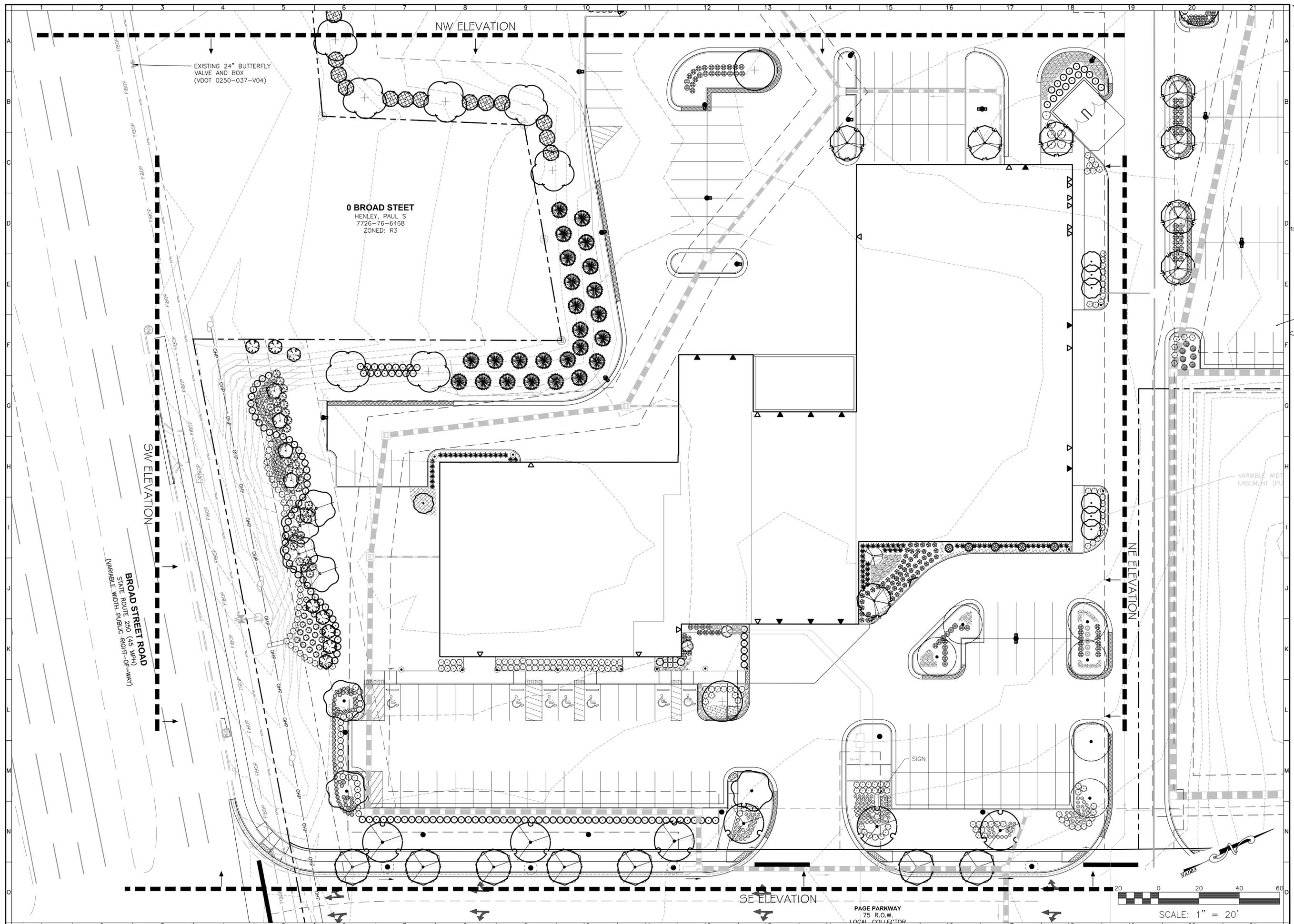
WEST BROAD AUDI
12592 BROAD STREET ROAD
SIGHT LINE PLAN
DISTRICT 4
GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
DESIGNED BY DJL
CHECKED BY DJL
DATE 06/13/2016
SCALE 1" = 50'

REVISIONS:
08-09-2016
09-06-2016

SHEET NO.
C01
JOB NO. C1300690.00

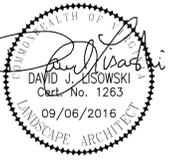




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 WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.
 15871 City View Drive, Suite 200
 Midlothian, VA 23113
 804-794-0571
 FAX 804-794-2635



WEST BROAD AUDI
 12592 BROAD STREET ROAD
BUILDING ELEVATION - SECTION LINES
 DISTRICT 4
 GOCHLAND COUNTY, VIRGINIA

DRAWN BY WLJ
 DESIGNED BY DJL
 CHECKED BY DJL
 DATE 06/13/2016
 SCALE 1" = 20'

REVISIONS:
 08-09-2016
 09-06-2016

SHEET NO.
L02
 JOB NO. C1300690.00

WESTBOUND CAR
EYE ELEVATION: 207.00



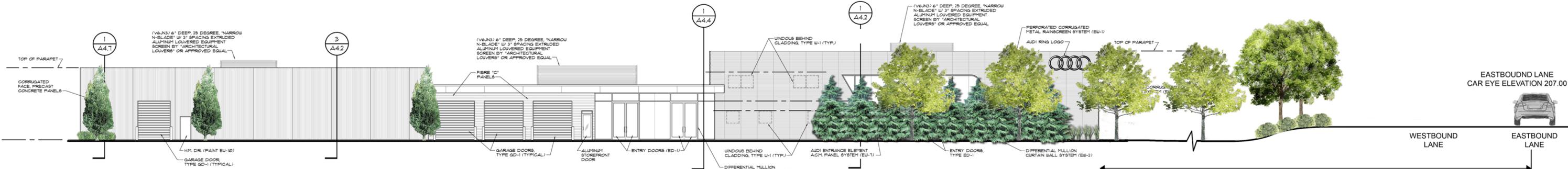
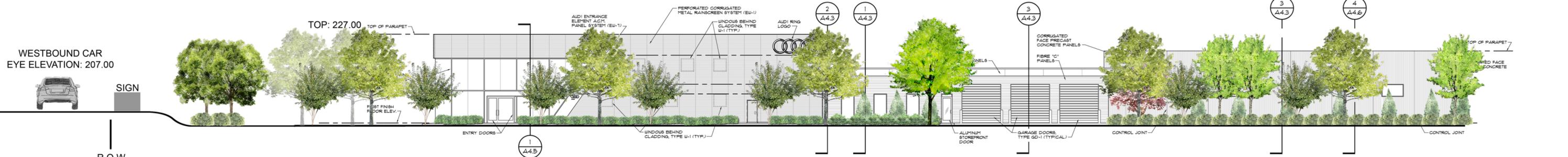
SIGN

R.O.W.

TOP: 227.00

SOUTHEAST ELEVATION

SCALE: 3/32" = 1'-0"



NORTHWEST ELEVATION

SCALE: 3/32" = 1'-0"

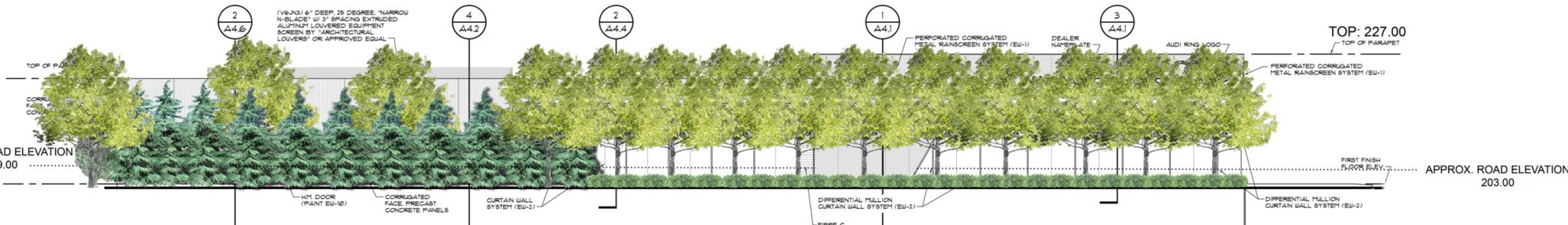
EASTBOUND LANE
CAR EYE ELEVATION 207.00



WESTBOUND LANE

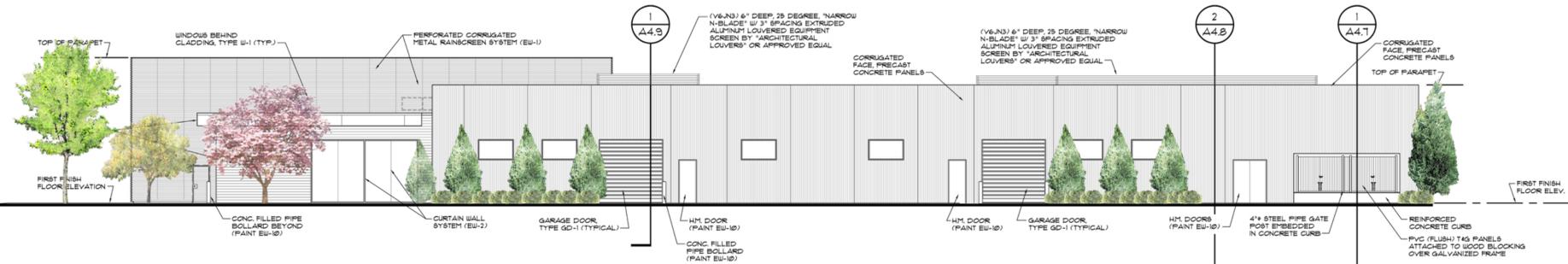
EASTBOUND LANE

+/- 380 LF FROM EASTBOUND TRAVEL
LANE TO BUILDING



SOUTHWEST ELEVATION

SCALE: 3/32" = 1'-0"



NORTHEAST ELEVATION

SCALE: 3/32" = 1'-0"



Revisions

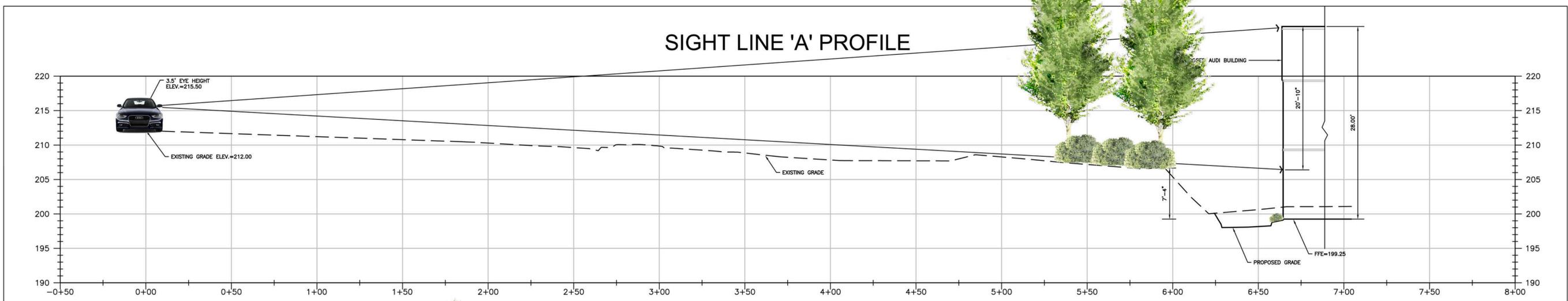
Job Number
1415
Issued Date
8 | 08 | 2016

AUDI RICHMOND
WEST BROAD STREET
GOCHLAND COUNTY, VIRGINIA

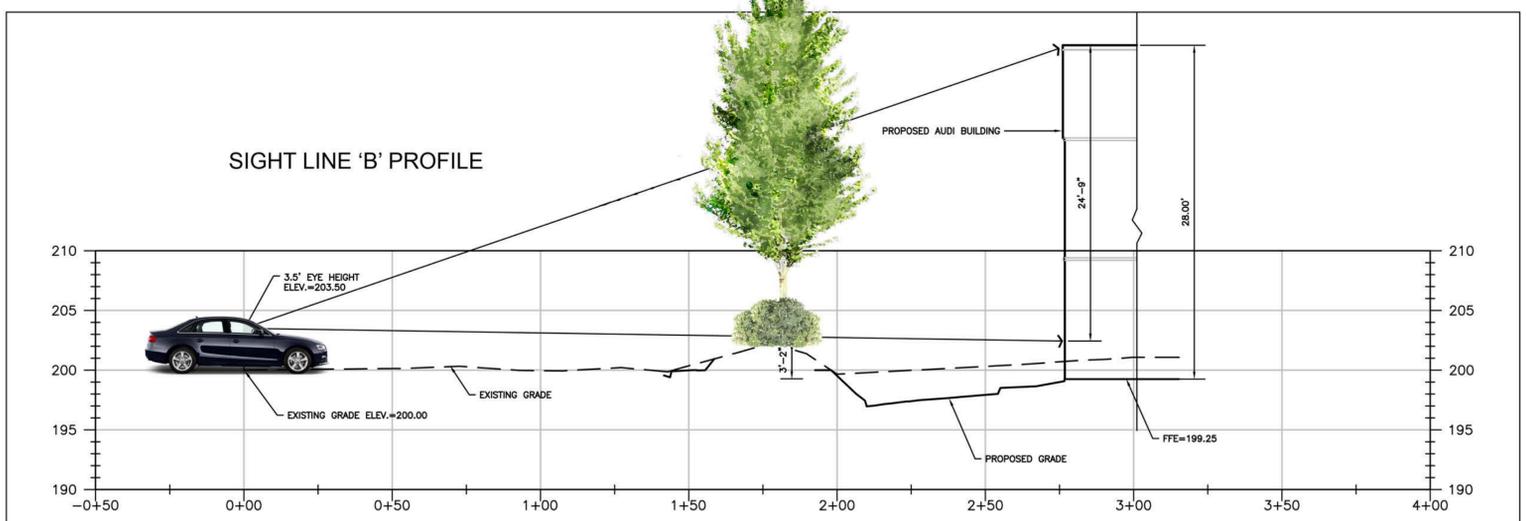
Sheet Name
**EXTERIOR
ELEVATIONS**

Sheet Number
A3.1

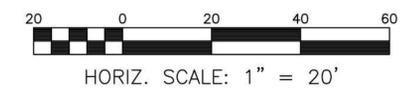
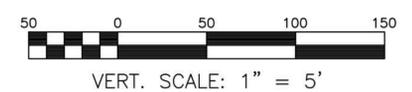
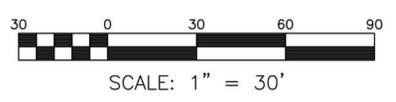
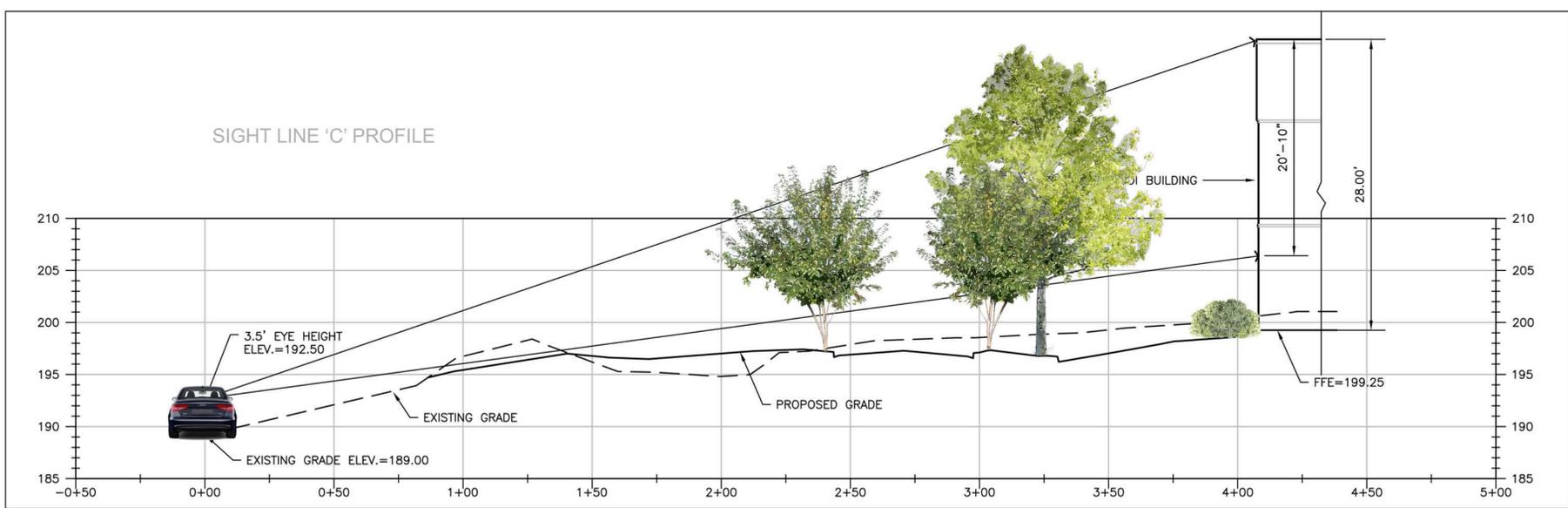
SIGHT LINE 'A' PROFILE



SIGHT LINE 'B' PROFILE



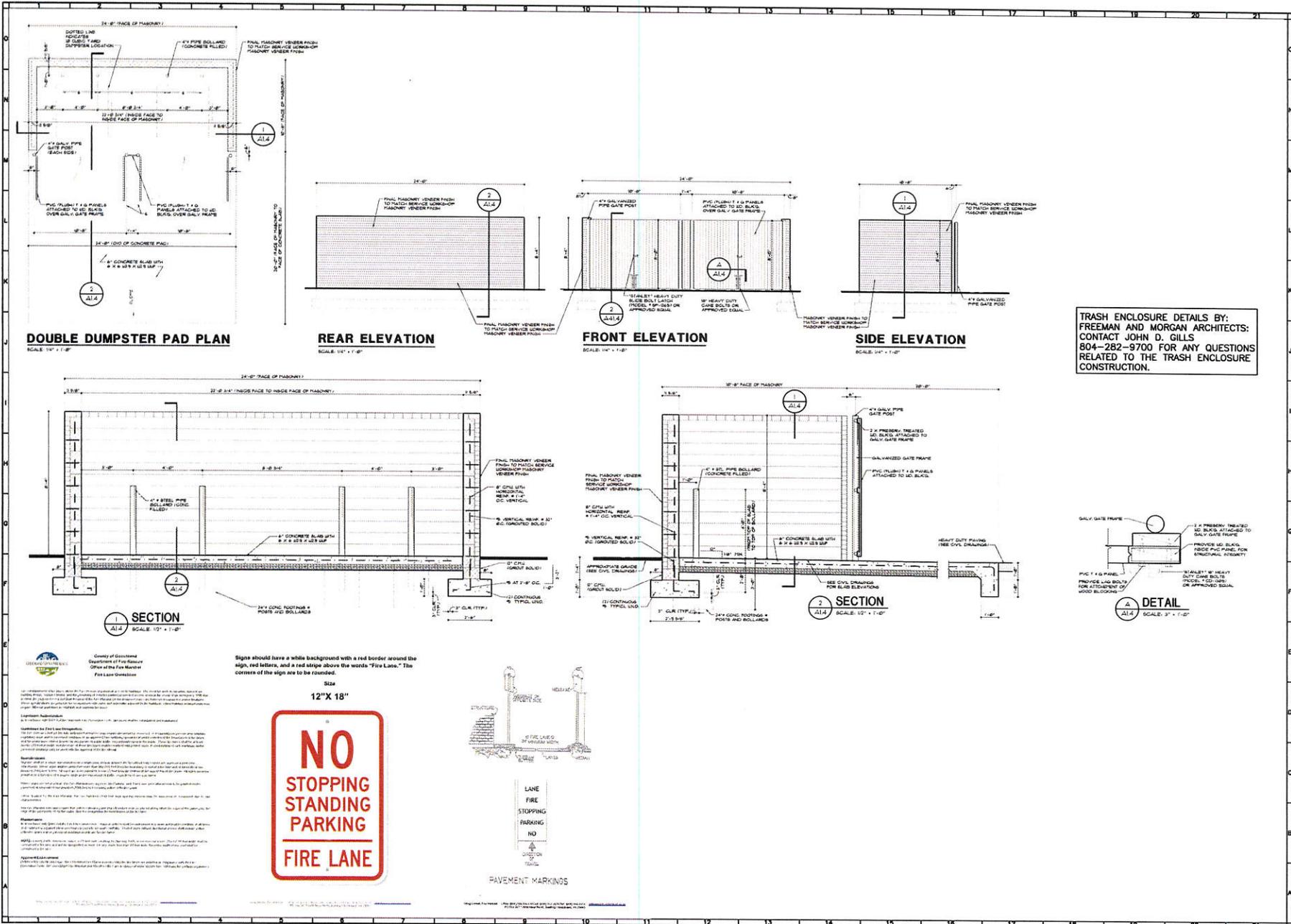
SIGHT LINE 'C' PROFILE



WEST BROAD AUDI
SIGHT LINE PROFILES
 DISTRICT 4
 GOOCHLAND COUNTY, VIRGINIA

DRAWN BY JSF
 DESIGNED BY JSF
 CHECKED BY CMS
 DATE 6.30.2016
 SCALE AS SHOWN
 REVISIONS:

SHEET NO.
C02
 JOB NO. C1300690.00



TRASH ENCLOSURE DETAILS BY:
 FREEMAN AND MORGAN ARCHITECTS:
 CONTACT JOHN D. GILLS
 804-282-9700 FOR ANY QUESTIONS
 RELATED TO THE TRASH ENCLOSURE
 CONSTRUCTION.



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8.8" x 8" x 16" (1/2" WALL THICKNESS)
 12" x 12" x 16" (1/2" WALL THICKNESS)
 16" x 16" x 16" (1/2" WALL THICKNESS)
 20" x 20" x 16" (1/2" WALL THICKNESS)
 24" x 24" x 16" (1/2" WALL THICKNESS)
 30" x 30" x 16" (1/2" WALL THICKNESS)
 36" x 36" x 16" (1/2" WALL THICKNESS)
 42" x 42" x 16" (1/2" WALL THICKNESS)
 48" x 48" x 16" (1/2" WALL THICKNESS)
 54" x 54" x 16" (1/2" WALL THICKNESS)
 60" x 60" x 16" (1/2" WALL THICKNESS)
 66" x 66" x 16" (1/2" WALL THICKNESS)
 72" x 72" x 16" (1/2" WALL THICKNESS)
 78" x 78" x 16" (1/2" WALL THICKNESS)
 84" x 84" x 16" (1/2" WALL THICKNESS)
 90" x 90" x 16" (1/2" WALL THICKNESS)
 96" x 96" x 16" (1/2" WALL THICKNESS)
 102" x 102" x 16" (1/2" WALL THICKNESS)
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 114" x 114" x 16" (1/2" WALL THICKNESS)
 120" x 120" x 16" (1/2" WALL THICKNESS)

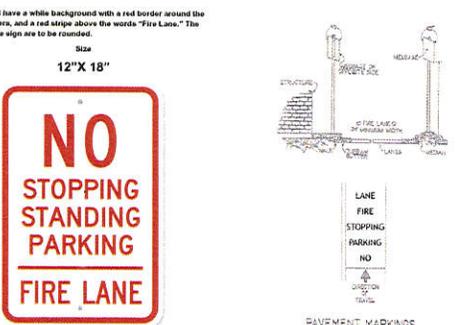
Balzer and Associates, Inc.
 15671 City View Drive, Suite 200
 Midlothian, VA 23113
 804-794-0571
 FAX 804-794-2635



WEST BROAD AUDI
 DISTRICT 4
 GOOCHLAND COUNTY, VIRGINIA

DRAWN BY JSF
 DESIGNED BY JSF
 CHECKED BY CMS
 DATE 5.20.2016
 SCALE AS SHOWN
 REVISIONS:
 9.08.2016

SHEET NO.
C12.5
 JOB NO. C1300890.00



City of Goochland
 Department of Fire Rescue
 Office of the Fire Marshal
 Fire Lane Director

Signs should have a white background with a red border around the sign, red letters, and a red stripe above the words "Fire Lane." The corners of the sign are to be rounded.

Size
 12" X 18"

PAVEMENT MARKINGS

1. All dimensions are in feet and inches unless otherwise noted. The owner shall be responsible for any utility lines or other underground or overhead utilities that may be encountered during construction. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

**Goochland County
Design Review Committee Meeting
Thursday, January 21, 2016
Administration Building
1800 Sandy Hook Road, Goochland VA 23063
Conference Room 234**

The Goochland County Design Review Committee held a meeting on Thursday, January 21, 2016, 5:30 p.m. in conference room 234. Members present were: Stu Doetzer, Stephen Faraci, Paul Costello, and Bill Neal (Alternate). Staff members present were Jo Ann Hunter and Sara Worley. Also present were the applicant and representatives: Larry Page (via telephone), Clark Jones, Cody Thacker, Victoria Respond, Jack Shady, and Jennifer Mullen.

Mr. Costello called the meeting to order and the Committee Clerk declared a quorum.

COA-2015-00009 – LJP Properties, LLC (Page Audi)

Ms. Hunter gave a presentation reviewing the site location and the revised elevations. She then reviewed how the applicant addressed the issues from the last meeting.

Victoria Respond, who represented the applicant, began to give a presentation reviewing the site plan. There was discussion about the VDOT owned property and how it could be incorporated into the development. She then continued her presentation reviewing the landscaping plan. There was discussion about the locations of trees in the Option B parking lot and the difficulty of placing cars under trees. There was also discussion on how to break up the parking lot in the rear with landscaping and the size of the proposed landscaping. She then reviewed the elevations and gave the percentage amounts of metal for each option stating that Option A totals 27% and Option B totals 31.5%. She reviewed the masonry and concrete elements showing material examples.

Mr. Doetzer questioned if the applicant would have a concern with placing natural stone around the base of the showroom? Ms. Respond replied that could be done.

Chairman Costello opened the meeting to citizen comment. Pat Hendy of 2337 Wheatlands Drive expressed concern regarding the potential for light spill out of the building. She also questioned if the sign would be lighted. Ms. Mullen stated that the sign would come back to the DRC for approval so any lighting would be reviewed. Ms. Respond stated that Audi likes to have plants and dark flooring to negate any light glare coming out of their windows. She stated most of the interior lighting is uplit and only certain down lighting to highlight the vehicles and that the floors and some materials are matte black to absorb the light.

There was no further comments from the Committee.

Chairman Costello proposed approval subject to conditions. Mr. Faraci stated that he would like to clarify language in the proffers to restrict metal to 30% per side and not 30% of the whole building. Ms. Mullen responded that the language could be amended to read that the overall building will not exceed 30% and that no specific side will exceed 35%.

Design Review Committee
Minutes
January 21, 2016

Mr. Costello proposed approval of Option A subject to the revised proffers and the proposed conditions. He stated that he would like to see the living wall as an option to review with the landscaping plan and would like to add a requirement for natural stone around all sides of the base of the showroom. He also requested that calculations be done to show how the landscaping breaks up the large amounts of parking. He went on to say that the site and application are unique in that it is a large group of parcels being consolidated into one cohesive development and the site is east of the Route 288 and the village core. He stated that the DRC is making exceptions to the overlay standards particularly in regards to scale, style, and features and that the DRC does not want to set a precedent for the village area.

Mr. Faraci stated that in the approval, the DRC can find that the approval is based on a unique set of circumstances, including the applicant's comprehensive submissions, presentations, and discussions, the unique branding of the proposed use of the property, the unique location of the property at issue, including the applicant's efforts in purchasing and compiling a number of different parcels into a cohesive development.

Mr. Costello motioned that the DRC approve COA-2015-000009, which approval is based on the totality of circumstances considered by the DRC, including the applicant's comprehensive submissions, presentations, and discussions, the unique branding of the proposed use of the property, the unique location of the property at issue, including the applicant's efforts and investment in purchasing and compiling a number of different parcels into a cohesive development. Moreover, the approval is subject to the following conditions:

1. Certificate of Approval is for architecture and building materials only. The applicant shall obtain COA approval from the Design Review Committee for site design, landscaping, lighting, and signage.
2. Architectural elevations and materials shall be substantially similar in size, design, and color as identified as "Option A" prepared by CDR Studio Architects dated Jan. 8, 2016. The version with the living wall is required unless an alternative landscape plan is approved by the DRC at a subsequent meeting.
3. Natural stone shall be used along the base of all sides of the showroom.
4. All new buildings within the proposed development shall be reviewed by the Design Review Committee for appropriateness.
5. Applicant shall include the following proffers in subsequent zoning case:
 - a. Architectural Treatment. The Property shall be subject to the rules and regulations set forth in Article 22 of the Goochland County Zoning Ordinance, entitled "Centerville Overlay District," as may be amended from time to time; provided, however split face block shall not be a permitted exterior building material and metal shall not be permitted as a primary exterior building material. For the purposes of this

provision, primary shall be deemed to be in excess of thirty (30%) percent of the overall exterior building material with no specific side exceeding more than thirty-five (35%) percent. The exposed exterior front, rear and side walls (above finished grade) of each building on the Property shall be similar in high quality construction and shall have compatible architectural design treatment and materials.

- b. Refuse Container Enclosures. Enclosures for refuse containers serving any building shall be constructed of finished masonry materials compatible with the exterior building material such enclosure serves with the exception of gates and doors.
- c. Landscape Plan. Applicant will proffer a landscape plan and will submit a landscape plan at the DRC meeting for DRC approval.

Mr. Faraci seconded the motion. The motion to approve COA-2015-00009 was unanimously approved with a 3-0 vote (Ayes - Costello, Faraci, Doetzer).

Approval of Minutes – December 17, 2015

Mr. Doetzer motioned to approve the minutes from the December 17th meeting as written. Mr. Costello seconded the motion and the motion to approve the minutes was approved with a 3-0 vote (Costello, Doetzer, Faraci - Ayes).

Being no further business before the Committee, the meeting was adjourned at 7:00 p.m.