

Subdivision Ordinance Update

Initial Public Outreach

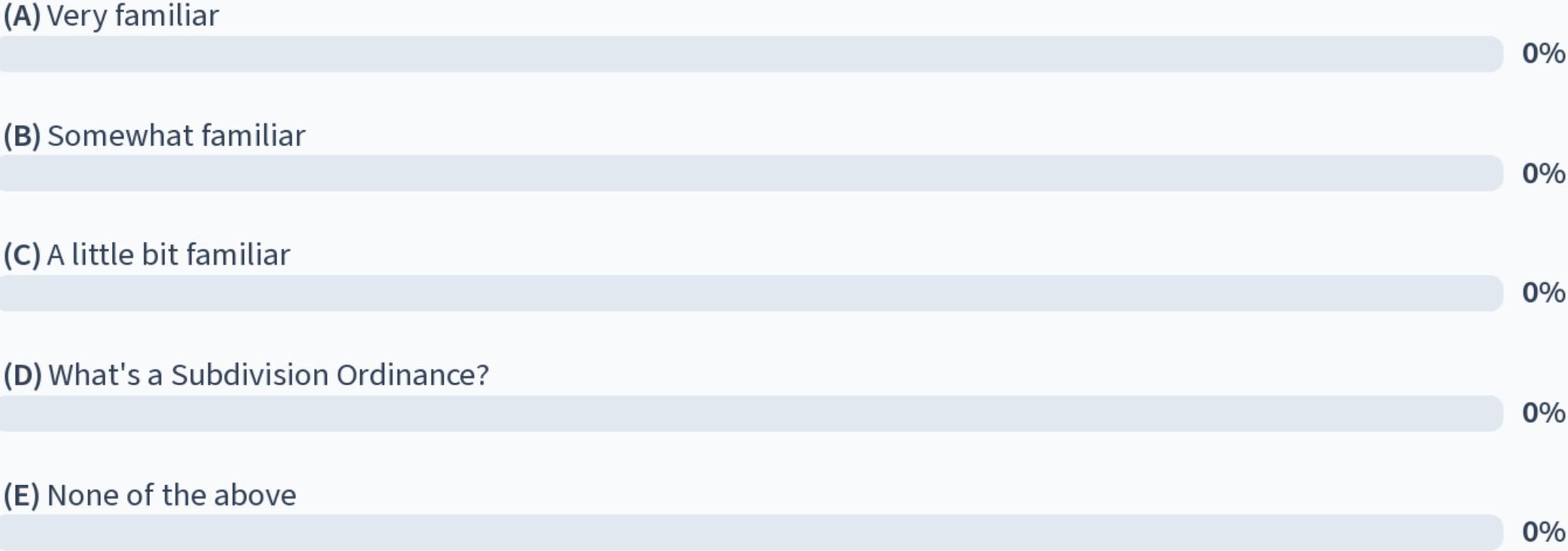
May 2024

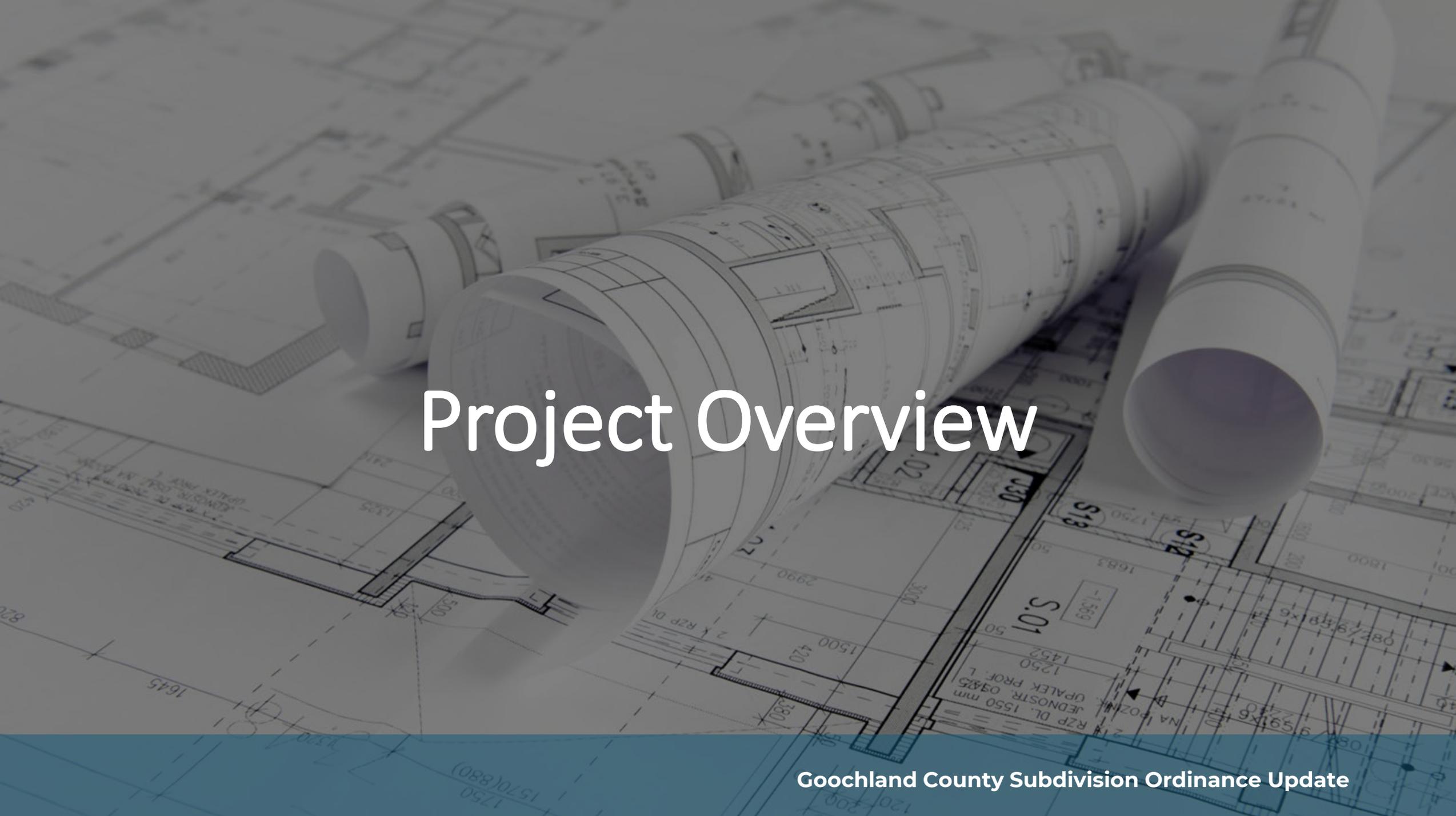
WHITE &
SMITH, LLC
PLANNING AND
LAW GROUP

Today's Meeting Agenda

1. Project Overview
2. Subdivision Ordinance
3. Issues
4. Schedule
5. Questions & Open Discussion

How familiar are you with Goochland County's Subdivision Ordinance?



The background of the slide features a collection of architectural blueprints. Several sheets are unrolled, showing detailed technical drawings with lines, dimensions, and annotations. Other sheets are rolled up into cylinders, creating a sense of depth and activity. The overall color palette is muted, with greys and blues, and the text is overlaid in a clean, white font.

Project Overview

General Objectives



**Ensure consistency
with State law**



**Update to reflect
current County
practices**



**Best practices / good
land use planning**



User-friendly



**Consistency with
Zoning Ordinance /
County Code**



Public support

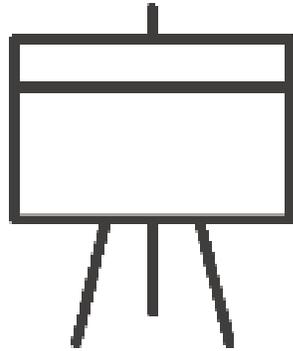


Project Milestones



Phase 1 – Diagnostic

- Document Review & Orientation,
- Public Outreach
- Analysis Report & Outline



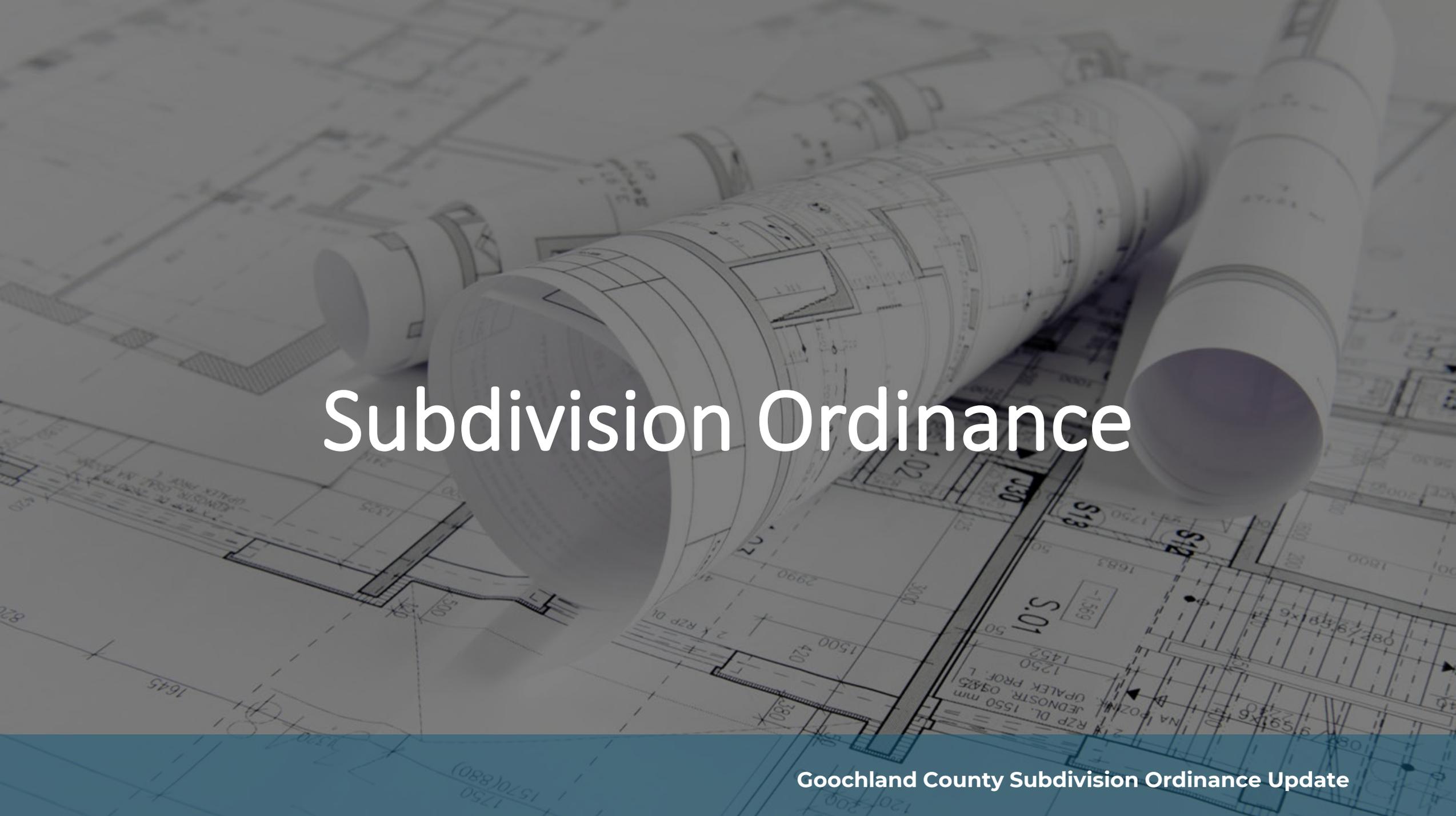
Phase 2 - Drafting

- Preliminary Draft
- Staff Review and Comments



Phase 3 - Adoption & Finalization

- Initial Complete Draft
- Supervisors / Planning Commission work sessions
- Final Draft
- Adoption

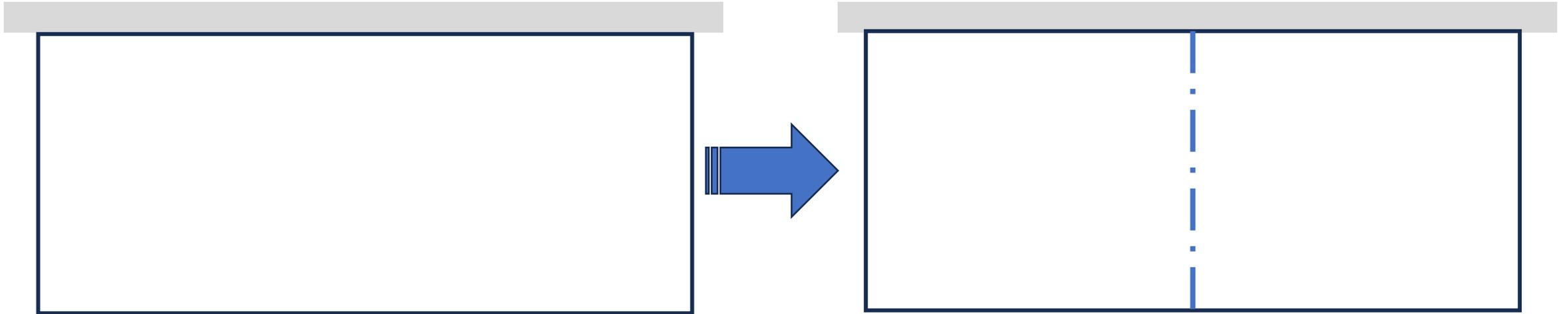
The background of the image is a grayscale photograph of architectural blueprints. Several sheets of paper are rolled up into cylinders, with some unrolled sections showing detailed technical drawings, including floor plans, sections, and elevations. A white pen lies across the blueprints. The overall scene is dimly lit, with a soft blue gradient at the bottom of the image.

Subdivision Ordinance

Gochland County Subdivision Ordinance Update

Subdivision Ordinance

- What the Subdivision Ordinance does
- What the Subdivision Ordinance does not do
- Subdivision Ordinance in context



Subdivision Ordinance in Context

2035 Comprehensive Plan + 2040 Major Thoroughfare Plan



What Subdivision Ordinance Does

- **Govern the division of land**
- **Provide for reliable ownership records**
- **Establish process for creating new lots**
- **Assure adequate site improvements**
- **Ensure adequate public improvements**
- **Provide for phasing of development**
- **Preserve natural resources**

What Subdivision Ordinance Does **Not** Do

- Regulate use
- Set lot size
- Regulate property maintenance
- Rezone land

Roads

- **Private roads must be:**

- designed to VDOT road standards for 5 lots or more
- designated and posted as “private”
- have independent inspection and certification similar to the VDOT inspection system design

- **Subdivision roads:**

- 7 lots or more to be public
- base materials plus 2 layers of asphalt concrete
- Lot building permits phased with installation of road surface

Roads

- **Access and roads:**

- local street may not serve more than 49 lots
- street type and design based on number of lots and provided accesses
- stub streets required to undeveloped properties

Improvements

Ownership / Title

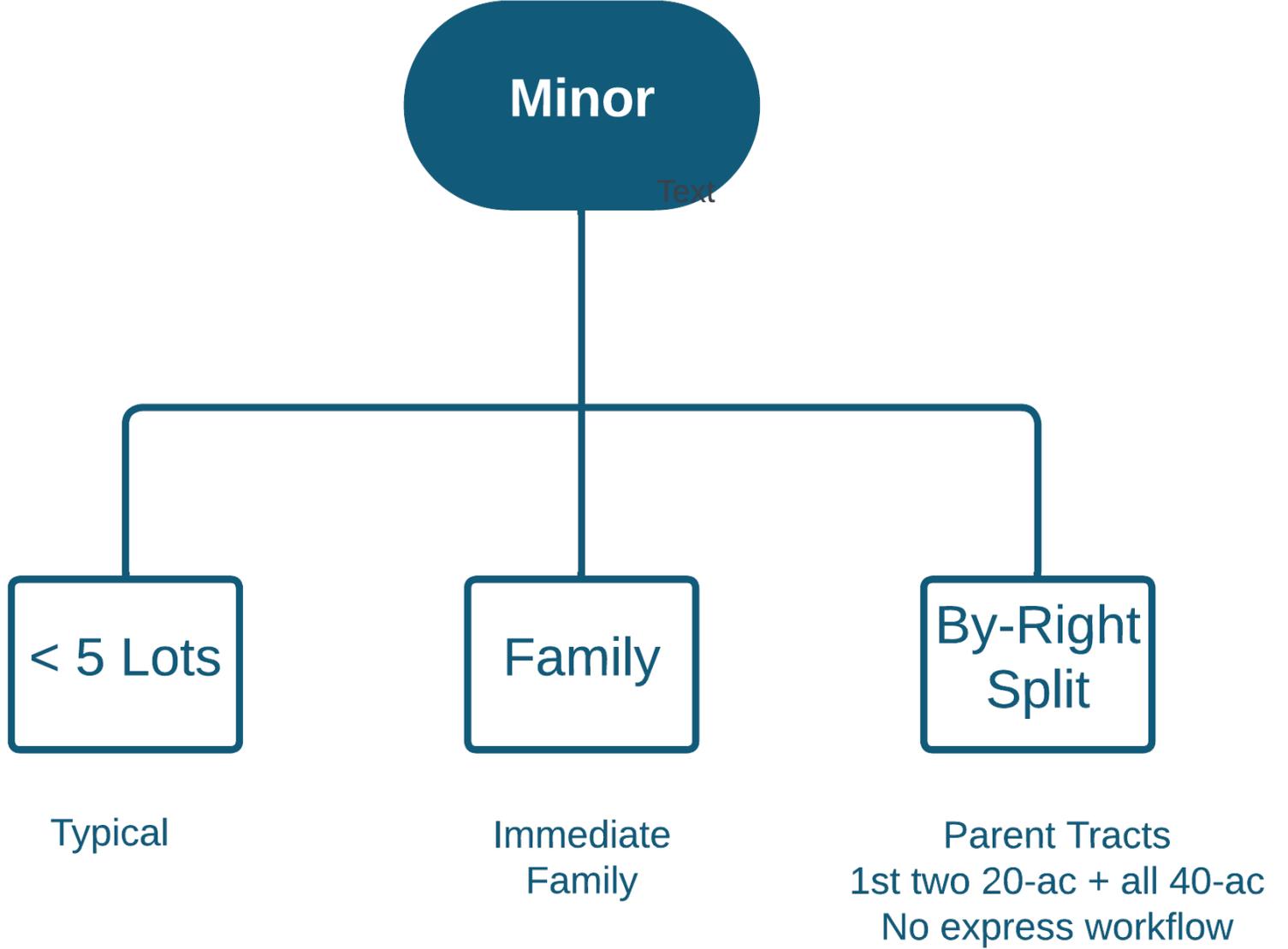
- **Dedication**
 - => acceptance
- **Reservation**
 - => acquisition

Security

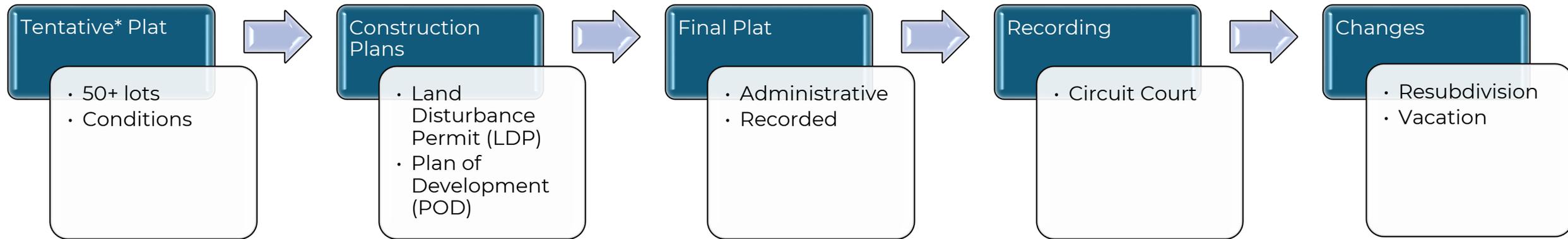
- **Completion**
 - Bonding
 - Building permit phasing
- **Maintenance bonds**
- **Improvement agreements**

Subdivision Categories

Major
(5+ lots)



Process

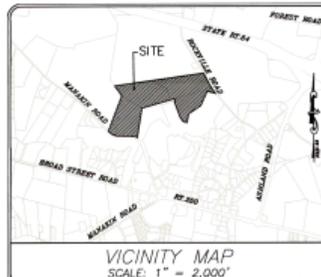


* Usually called a
“preliminary” plat

Tentative Plat Process

50+ lots





ECONOMIC OVERVIEW

LINE	BEARING	LENGTH
L1	S40°34'4"E	76.07'
L2	N78°34'4"W	133.00'
L3	N73°34'4"W	35.00'
L4	N17°34'4"W	80.00'
L5	S28°34'4"W	13.00'
L6	S87°34'4"W	48.84'
L7	N89°34'4"W	282.11'
L8	N82°34'4"W	120.43'
L9	N87°34'4"W	13.67'
L10	N73°34'4"W	48.84'
L11	N89°34'4"W	82.90'
L12	N57°34'4"W	62.50'
L13	N49°34'4"W	94.67'
L14	N42°34'4"W	76.04'
L15	N34°34'4"W	117.70'
L16	N27°34'4"W	95.00'

ROAD C/L LINE TABLE

LINE	LENGTH	BEARING
L1	158.00'	S28°34'4"W
L2	30.00'	S65°34'4"W
L3	248.00'	S28°34'4"W
L4	134.00'	S32°34'4"W
L5	283.04'	S28°34'4"W
L6	537.38'	S74°34'4"W
L7	25.00'	S87°34'4"W
L8	38.50'	S47°34'4"W
L9	334.16'	N87°34'4"W
L10	25.00'	S28°34'4"W
L11	83.32'	N89°34'4"W
L12	39.39'	N89°34'4"W
L13	156.90'	N87°34'4"W
L14	183.83'	N47°34'4"W
L15	25.00'	N47°34'4"W
L16	86.26'	S28°34'4"W
L17	325.49'	S28°34'4"W
L18	284.11'	N47°34'4"W
L19	181.37'	S28°34'4"W
L20	25.00'	S28°34'4"W
L21	371.11'	N89°34'4"W
L22	156.90'	N87°34'4"W
L23	183.83'	N47°34'4"W
L24	25.00'	S28°34'4"W

ROAD C/L CURVE TABLE

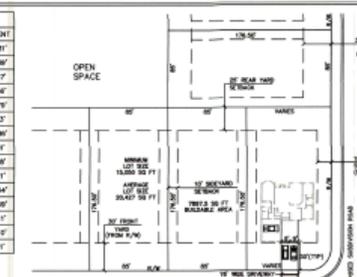
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	296.70'	200.00'	89°00'42"	270.27'	S47°34'4"W	183.31'
C2	280.12'	200.00'	82°49'14"	264.50'	S44°34'4"W	176.30'
C3	218.13'	500.00'	25°15'48"	217.07'	S19°42'32"W	115.67'
C4	227.14'	500.00'	28°01'48"	225.18'	S19°42'32"W	115.56'
C5	283.04'	500.00'	30°38'00"	283.87'	S17°34'00"W	136.79'
C6	76.32'	200.00'	21°51'51"	75.66'	S84°42'47"W	36.62'
C7	371.49'	400.00'	87°01'37"	324.11'	S27°34'4"W	246.90'
C8	117.90'	200.00'	32°33'48"	115.40'	N10°34'32"E	63.21'
C9	86.62'	200.00'	27°00'37"	85.86'	N10°34'32"E	49.30'
C10	172.19'	500.00'	10°24'28"	171.03'	N52°00'42"E	87.21'
C11	235.62'	200.00'	47°30'07"	223.27'	S62°02'32"E	133.64'
C12	314.18'	400.00'	48°00'00"	306.10'	N81°42'30"E	160.69'
C13	156.90'	500.00'	30°55'37"	156.11'	N81°42'30"E	162.11'
C14	213.50'	500.00'	30°58'30"	208.40'	N82°30'00"E	162.12'
C15	87.38'	400.00'	12°38'00"	87.12'	S14°18'48"E	43.81'

BOUNDARY CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD
C1	3456.80'	87.65'	1°27'30"	S29°15'07"E	87.65'
C2	1285.70'	71.80'	2°32'00"	S39°14'07"E	71.80'
C3	1285.70'	176.70'	4°12'00"	S39°16'02"E	176.67'
C4	246.11'	172.74'	28°57'34"	N43°04'38"W	170.24'
C5	602.86'	133.62'	12°41'50"	N82°47'47"W	133.23'

PREVIOUSLY RECORDED WITH TUCKAHOE BRIDGE SECTION ONE

LINE	LENGTH	BEARING
L1	284.11'	N47°34'4"W
L2	181.37'	S28°34'4"W
L3	25.00'	S28°34'4"W
L4	371.11'	N89°34'4"W
L5	156.90'	N87°34'4"W
L6	183.83'	N47°34'4"W
L7	25.00'	N47°34'4"W
L8	145.04'	S28°34'4"W
L9	20.00'	S28°34'4"W



NOTES

- BOUNDARY INFORMATION PROVIDED BY TOWNES SITE ENGINEERING, P.C.
- PLAN OF SURVEY OF TWO PARCELS TOTALING 27.449 ACRES, NORTH OF STATE ROUTE 621, BY MICHAEL L. PARRISH & ASSOCIATES, INC., DATED APRIL 14, 2006, AND RECORDED IN PLAT CABINET E-45.
- PLAN OF SURVEY OF TWO PARCELS TOTALING 70.776 ACRES, WEST OF STATE ROUTE 621, BY MICHAEL L. PARRISH & ASSOCIATES, INC., DATED OCTOBER 31, 2005, PLAT IS UNRECORDED.
- A PORTION OF THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "A" AND ZONE "X", AS SCALED FROM COMMUNITY PANEL NO. 51075020208 AND 51075020249, BOTH DATED DECEMBER 2, 2014.
- ALL WETLAND IMPACTS SHOWN ARE CONCEPTUAL. ANY PERMANENT IMPACTS SHALL BE PERMITTED DURING THE CONSTRUCTION PLAN APPROVAL PROCESS.

DEVELOPER: MAIN STREET HOMES
ADDRESS: 15871 CITY VIEW DRIVE, #100
MIDDLETOWN, VIRGINIA 23113
CONTACT: BOB SHAFER, PE
PHONE NO.: (804) 423-0320
EMAIL: BOB@TOWNESGROUP.COM

OWNER: WINDSWEPT DEVELOPMENT LLC
P.O. BOX 461
MIDDLETOWN, VA 23113
MCCLURE FAMILY REALTY LLC
P.O. BOX 461
MIDDLETOWN, VA 23113
COSSY VILLAGE LLC
MIDDLETOWN, VA 23113

SITE SUMMARY
USE: RESIDENTIAL SUBDIVISION

ZONING: RPUD

TAX MAP PARCELS: 47-40-1-B-0, 47-39-0-1-0, 47-1-0-46-A (PARCELS SUBJECT TO REVISED TENTATIVE)

SPIN No.: 7717-72-8735, 7717-92-0902, 7717-92-2216 (PARCELS SUBJECT TO REVISED TENTATIVE)

OVERALL DEVELOPMENT
NO. OF LOTS: 98
TOTAL RUPD AREA: 88,234 AC.
MAXIMUM LOT SIZE: 38,889 SQ.FT.
MINIMUM LOT SIZE: 13,050 SQ.FT.
AVERAGE LOT SIZE: 20,427 SQ.FT.

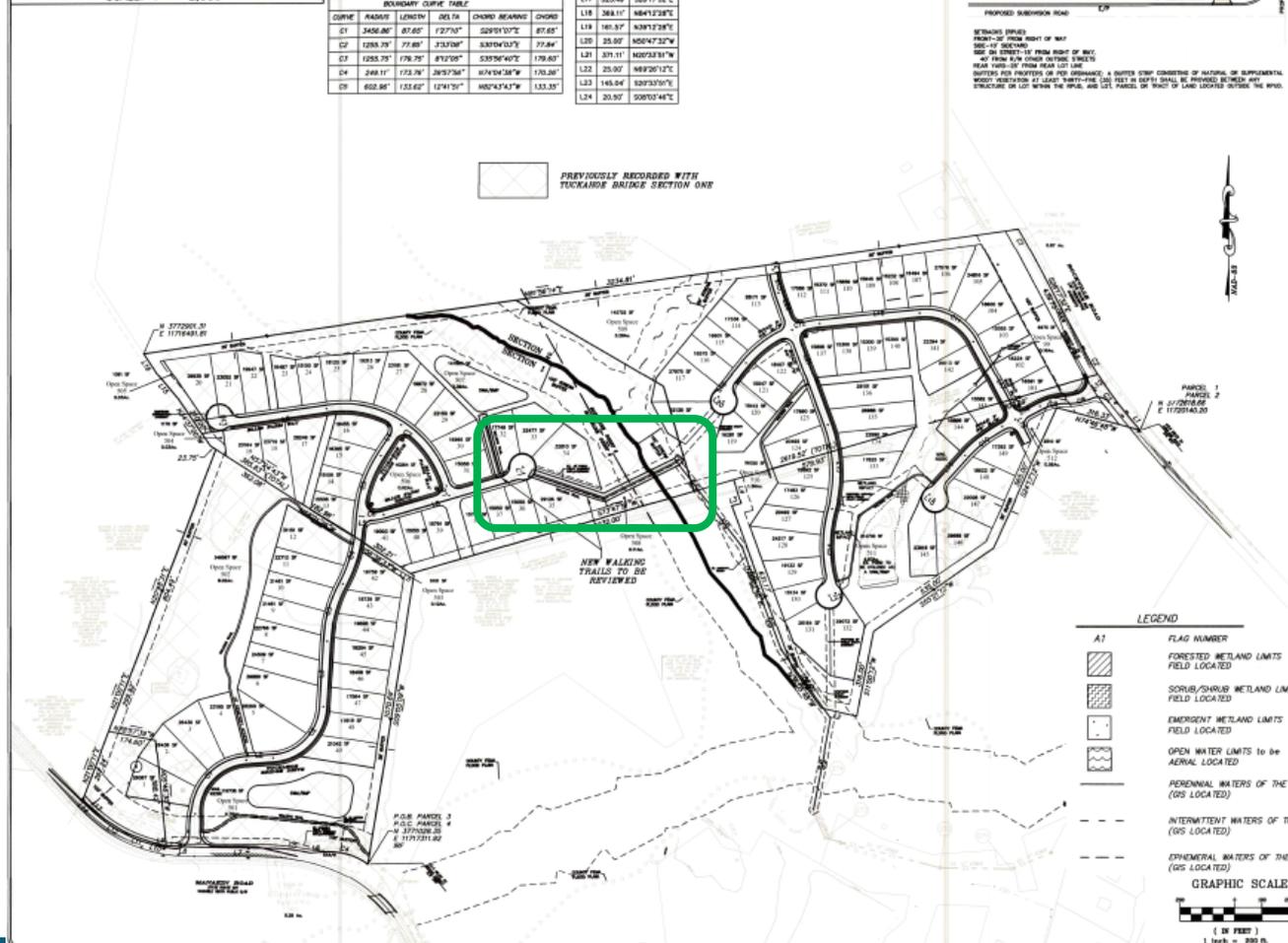
SEWER: PUBLIC
WATER: PUBLIC
DRAINAGE: CURB & GUTTER

PARKING: REQUIRED: 2.5 PARKING SPACES PER RESIDENTIAL UNIT
243 PARKING SPACES; (2.5 X 98)
PROVIDED: 3.0 SPACE PER RESIDENTIAL UNIT (DRIVEWAY + GARAGE)
294 PARKING SPACES; (3 X 98)

FLOOR AREA RATIO (FAR): MAXIMUM ALLOW: 0.40
PROVIDED: 0.13 (AVG.)
(2,084 S.F. / 20,309 S.F.)
GROSS FLOOR AREA (GFA) / LOT AREA (AVG.)

AREA IN LOTS: 45.96 AC.
AREA IN PONDS: 2.98 AC.
AREA IN WETLANDS: 0.08 AC.
AREA IN EASEMENTS: 0.45 AC.
AREA IN BUFFER STRIPS: 13.68 AC.
WETLANDS TO BE IMPACTED: 0.06 AC.
PROTECTED ENVIRONMENTAL AREAS: 8.00 AC. (WETLAND & STREAM BUFFERS)
OPEN/COMMON SPACE PROVIDED: 28.47 AC. / 31.67%
AREA IN OPEN/COMMON SPACE PROVIDED LESS PONDS: 28.53 AC. / 29.04%
PERCENT OF OPEN/COMMON SPACE AS PONDS: 8.29%
AREA IN OPEN/COMMON SPACE PROVIDED LESS WETLANDS: 0.0 AC. / 0.0%
PERCENT OF OPEN/COMMON SPACE AS WETLANDS: 0.0%
AREA IN OPEN/COMMON SPACE PROVIDED LESS WETLAND & POND: 28.53 AC. / 29.04%
PERCENT OF OPEN/COMMON SPACE AS WETLAND & POND: 8.29%

DENSITY CALCULATIONS:
MAXIMUM NO. LOTS ALLOWED PER ZONING = 98
MAXIMUM DENSITIES PER ACRE = 2.00 UNITS/ AC.
NO. OF LOTS PROVIDED = 98
SITE AREA = 28.23 AC.
PROPOSED DENSITY = 0.99 UNITS/ AC.



OPEN SPACE TABULATION

TYPE	PROVIDED	MAX PERMITTED	CREDITED
POND	2.98 AC.	(50%) 14.73 AC.	2.98 AC.
FLOODPLAIN	5.94 AC.	(25%) 7.36 AC.	5.94 AC.
WETLANDS	0.00 AC.	N/A	0.00 AC.
OTHER	25.18 AC.	N/A	25.18 AC.
TOTAL	34.03 AC.		34.03 AC.

AT LEAST 30% OF THE GROSS AREA SHALL BE OPEN SPACE.
30% OF 88.23 ACRES = 26.47 ACRES
29.47 ACRES REQUIRED; 31.11 ACRES PROVIDED AS OPEN SPACE

THE AREA IN LAKES AND PONDS SHALL NOT EXCEED 50% OF THE REQUIRED OPEN SPACE.
50% OF 29.47 ACRES = 14.73 ACRES
14.73 ACRES MAXIMUM PERMITTED; 2.98 ACRES PROVIDED AS OPEN SPACE

THE AREA IN FLOODPLAIN SHALL NOT EXCEED 25% OF THE REQUIRED OPEN SPACE.
25% OF 29.47 ACRES = 7.36 ACRES
7.36 ACRES MAXIMUM PERMITTED; 5.94 ACRES PROVIDED AS OPEN SPACE

APPROVED BY THE
COUNCIL
Bryan C. Mitchell
Brian C. Mitchell, P.E.
Sackary A. Williams, P.E.

Townes SITE ENGINEERING
1 Park West Circle, Suite 108
Middleton, Virginia 20114
Phone: (804) 748-2590
Company Website: www.townes.com

ASK US HOW

SEAL OF THE PROFESSIONAL ENGINEER
BRYAN C. MITCHELL
Lic. No. 52074
04/18/22
PERSONAL COPY

TUCKAHOE BRIDGE SUBDIVISION
REVISED TENTATIVE PLAT
DOVER DISTRICT
GOOCHLAND COUNTY, VIRGINIA
PRELIMINARY PLAT

DATE REVISIONS ITEM

DATE	BY	ITEM
02/04/22	PER CLIENT	
04/12/22	PER COUNTY	
05/03/22	PER COUNTY	

DATE: 08/08/19
SCALE: 1" = 200'
PROJECT MANAGER: BRIAN C. MITCHELL, P.E.
DESIGNED BY: SACKARY A. WILLIAMS, P.E.
CHECKED BY: ZAW
PROJ.#: 20190170
SHEET # 1 OF 3

Construction Plans

Land Disturbance Permit (LDP)

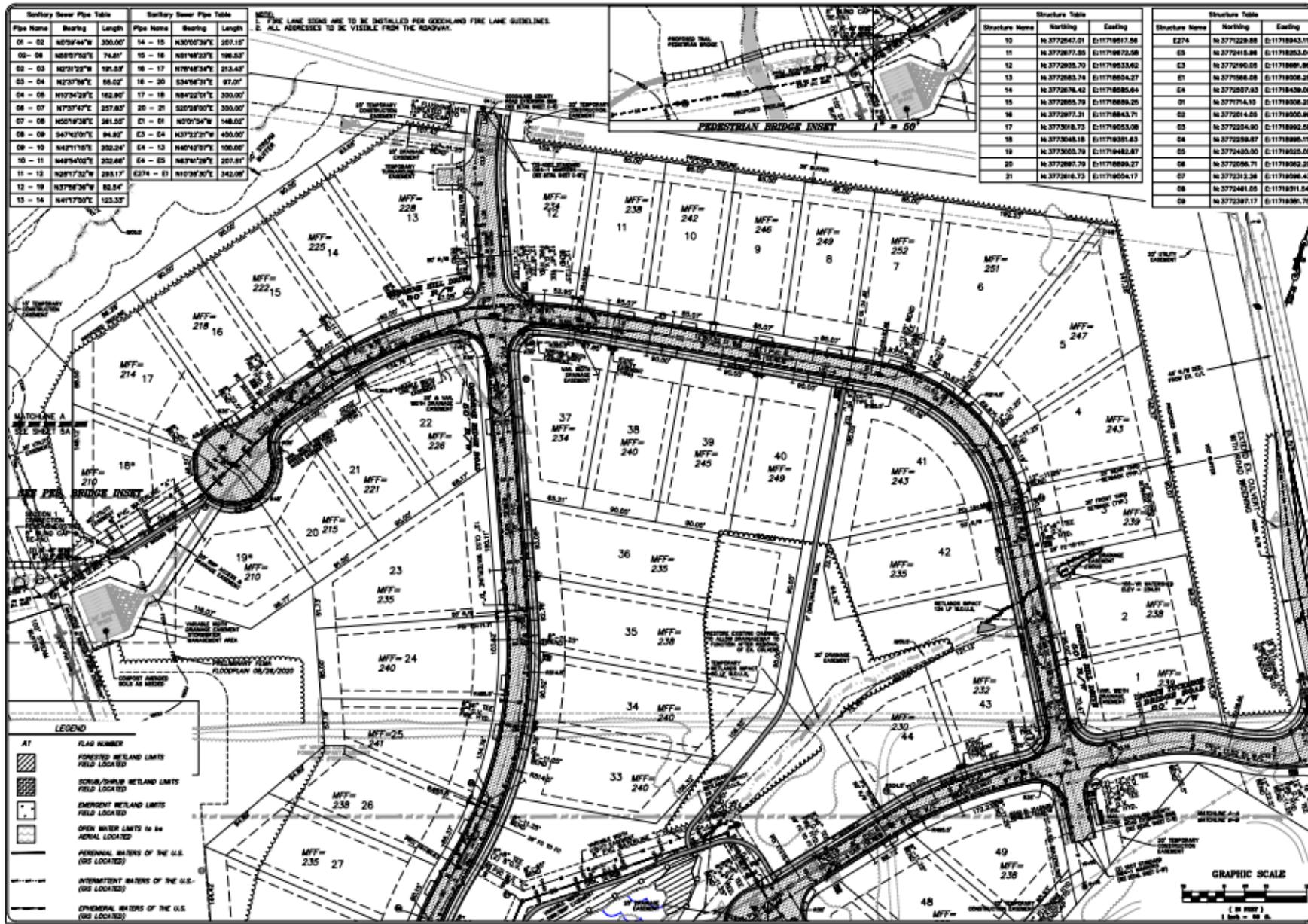
- Grading, stormwater management, protections for environmental features (wetlands, creeks), graveyards/cemeteries

Plan of Development (POD)

- Subdivision layout, construction details for public infrastructure improvements (roads, utilities, fire protection (hydrants or cisterns))

Applicant may combine LDP + POD

Sample POD

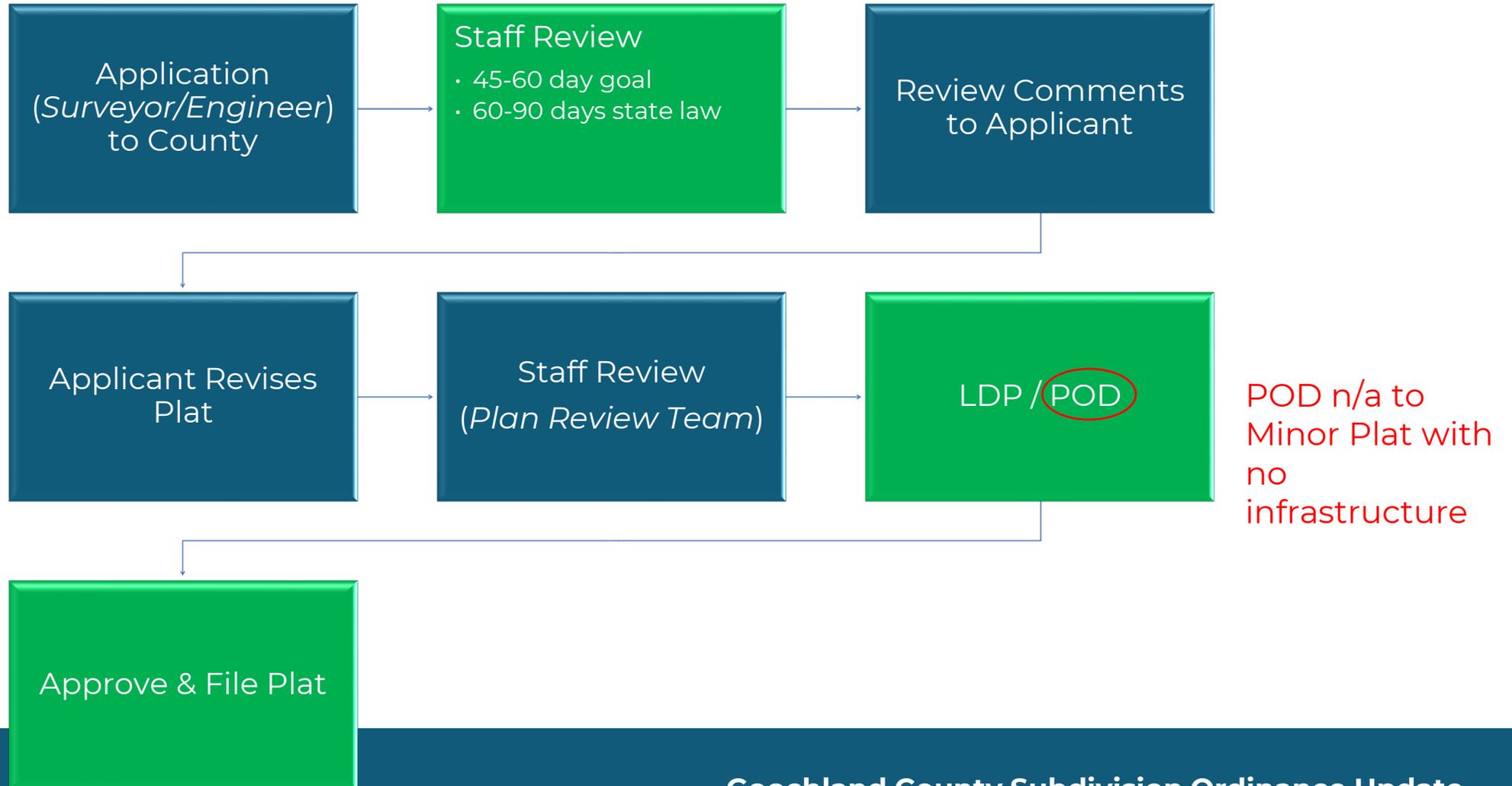


Townes
SITE ENGINEERING
1 Park West Circle, Suite 108
Middleburg, Virginia 22114
Phone: (804) 748-0011 Fax: (804) 748-8990
Company Website: www.townes.com

TUCKAHOE BRIDGE SUBDIVISION SECTION 2
DOVER DISTRICT
GOCHLAND COUNTY, VIRGINIA
ROAD & UTILITY PLAN

DATE: 08/18/2020
SCALE: 1" = 50'
PROJECT: TUCKAHOE BRIDGE SUBDIVISION SECTION 2
DRAWN BY: J. C. B. P.E.
CHECKED BY: J. C. B. P.E.
DATE: 08/18/2020

Final Plat Process



Sample Final Plat

SUBDIVISION CERTIFICATE
 THE SUBDIVISION OF LAND SHOWN HEREON DESIGNATED AS TUCKAHOE BRIDGE SECTION 2 IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND TRUSTEES, THERE IS A MORTGAGE ON THIS PROPERTY. ALL EASEMENTS AND ROADS ARE OF THE WIDTH AND EXTENT SHOWN AND ARE DEDICATED TO THE COUNTY OF GOOCHLAND FREE AND UNRESTRICTED BY ANY PREVIOUS AGREEMENTS EXCEPT AS NOTED ON THIS PLAT AS OF THE TIME OF RECORDATION. THE DEDICATION OF EASEMENTS TO THE COUNTY OF GOOCHLAND INCLUDES GRANTING THE RIGHT TO MAKE REASONABLE USE OF ADJOINING LAND FOR CONSTRUCTION AND MAINTENANCE OF PUBLIC FACILITIES WITHIN THE BOUNDARIES OF EASEMENTS SHOWN HEREON. ALL EASEMENTS ARE FOR SURFACE AND UNDERGROUND DRAINAGE AND UNDERGROUND UTILITIES EXCEPT AS RESTRICTED IN USE AS SHOWN ON THIS PLAT.
 GIVEN UNDER OUR HANDS THIS 31st DAY OF October, 2023

Windy
 WINDSWEEP DEVELOPMENT, LLC
 REPRESENTATIVE: William McClure Jr.

Steve Wilk
 T&W, LLC
 REPRESENTATIVE: Stephen Wilk, Manager

COMMONWEALTH OF VIRGINIA
 CITY/COUNTY OF Charlottesville TO WIT:
 I, Kevin Keatley, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH AT LARGE, STATE OF VIRGINIA, DO HEREBY CERTIFY THAT, William McClure Jr., WHOSE NAME IS SIGNED TO THE FOREGOING SUBDIVISION CERTIFICATE HAS ACKNOWLEDGED THE SAME BEFORE ME IN MY STATE AFORESAID.
 GIVEN UNDER MY HAND THIS 31st DAY OF October, 2023
 MY COMMISSION EXPIRES Dec-31-2025

Kevin Keatley
 KEVIN D KEATLEY
 NOTARY PUBLIC
 REGISTRATION # 188888
 COMMONWEALTH OF VIRGINIA
 MY COMMISSION EXPIRES 12-31-25

COMMONWEALTH OF VIRGINIA
 CITY/COUNTY OF Richmond TO WIT:
 I, Donna R. Cerdo, A NOTARY PUBLIC IN AND FOR THE COMMONWEALTH AT LARGE, STATE OF VIRGINIA, DO HEREBY CERTIFY THAT, Stephen Wilk, WHOSE NAME IS SIGNED TO THE FOREGOING SUBDIVISION CERTIFICATE HAS ACKNOWLEDGED THE SAME BEFORE ME IN MY STATE AFORESAID.
 GIVEN UNDER MY HAND THIS 31st DAY OF October, 2023
 MY COMMISSION EXPIRES 12/31/26

Donna R. Cerdo
 DONNA R. CERDO
 NOTARY PUBLIC
 REGISTRATION # 173126
 COMMONWEALTH OF VIRGINIA

SURVEYOR'S CERTIFICATE
 TO THE BEST OF MY KNOWLEDGE AND BELIEF ALL OF THE REQUIREMENTS AS SET FORTH IN THE ORDINANCE FOR APPROVING SUBDIVISION PLATS FOR RECORDATION IN GOOCHLAND COUNTY HAVE BEEN COMPLIED WITH. ALL MONUMENTS WILL BE SET WITHIN ONE (1) YEAR OF RECORDATION.

Matthew J. Tinsman III
 MATTHEW J. TINSMAN III, L.S.

SOURCE OF TITLE 47-39-0-1-0
 THE LAND EMBRACED WITHIN THE LIMITS OF THIS SUBDIVISION WAS CONVEYED TO WINDSWEEP DEVELOPMENT, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, FROM MCCLURE FAMILY REALTY, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, AND COSBY VILLAGE, LLC, A VIRGINIA LIMITED LIABILITY COMPANY, BY DEED DATED MARCH 27, 2023, AND RECORDED APRIL 20, 2023, IN INSTRUMENT #230001120, IN THE CLERK'S OFFICE OF THE CIRCUIT COURT, COUNTY OF GOOCHLAND, VIRGINIA.

Matthew J. Tinsman III
 MATTHEW J. TINSMAN III, L.S.

APPROVED BY GOOCHLAND COUNTY

11-29-2023 *Chita Barnes*
 DATE REQUIRED SIGNATURE(S)

GENERAL NOTES
 USE: RESIDENTIAL SUBDIVISION
 ZONING: RPUD W/ PROFFERS
 RZ-2018-00010
 WATER: PUBLIC
 SEWER: PUBLIC
 DRAINAGE: CURB & GUTTER
 PARCEL ID: 47-39-0-1-0

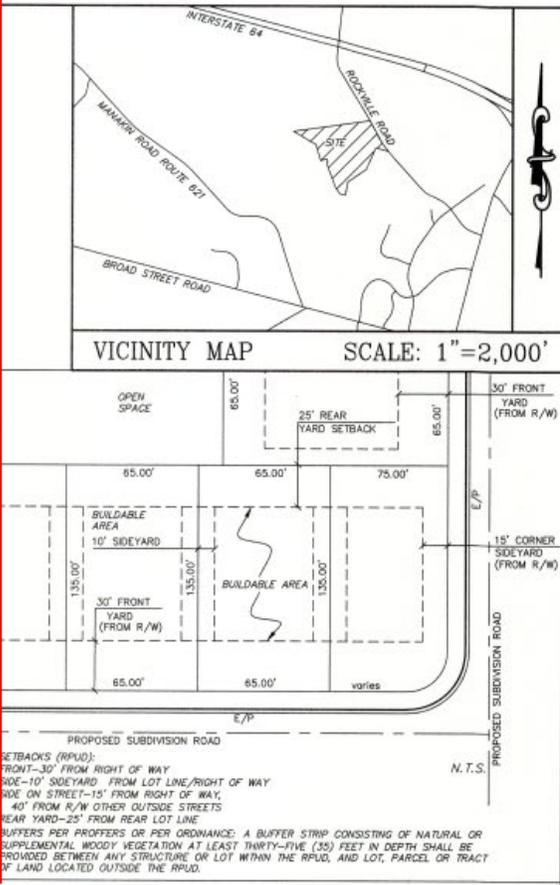
TUCKAHOE BRIDGE HOMEOWNERS ASSOCIATION
 COVENANTS AND RESTRICTIONS
 -SEE INSTRUMENT #210003641

NOTE: BUILDING SETBACKS TO CONFORM TO GOOCHLAND COUNTY ZONING ORDINANCE UNLESS OTHERWISE SPECIFIED

TABULATION
 TOTAL NUMBER OF LOTS: 49
 AREA IN LOTS: 22,269 ACRES
 AREA IN ROADS: 4.431 ACRES
 AREA IN VDOT ROADS: 0.871 ACRES
 AREA IN OPEN SPACE: 14.341 ACRES
 TOTAL AREA = 41.912 ACRES

OPEN SPACE TABULATION
 AREA IN OPEN SPACE A: 2.234 ACRES
 AREA IN OPEN SPACE B: 3.643 ACRES
 AREA IN OPEN SPACE C: 8.127 ACRES
 AREA IN OPEN SPACE D: 0.337 ACRES
 TOTAL AREA = 14.341 ACRES
 TOTAL PERCENTAGE OF OPEN SPACE IN SECTION 2=34.22%
 • DENOTES 5/8" IRON RODS TO BE SET WITHIN ONE (1) YEAR OF RECORDATION.

NOTES
 1. ALL OF THE PROPERTY SHOWN ON THIS SUBDIVISION PLAT SHALL BE SUBJECT TO AND ALL OWNERS OF LOTS SHOWN ON THIS SUBDIVISION PLAT SHALL BE GOVERNED BY CORRECTED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR TUCKAHOE BRIDGE OWNERS ASSOCIATION, INC. RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT IN GOOCHLAND COUNTY, VIRGINIA IN INSTRUMENT NUMBER 210003641.
 2. ALL UTILITY EASEMENTS ARE DEDICATED TO GOOCHLAND COUNTY FREE AND UNRESTRICTED BY ANY PREVIOUS AGREEMENTS, EXCEPT AS NOTED ON THIS PLAT AS OF THE TIME OF RECORDATION.
 3. ALL ROADS ARE DEDICATED TO VDOT/GOOCHLAND COUNTY FREE AND UNRESTRICTED BY ANY PREVIOUS AGREEMENTS, EXCEPT AS NOTED ON THIS PLAT AS OF THE TIME OF RECORDATION.
 4. SIGHT DISTANCE EASEMENTS AS SHOWN ON THIS PLAT ARE DEDICATED TO VDOT. NO SIGNS, PLANTINGS, STRUCTURES OR OTHER OBSTRUCTIONS WHICH OBSCURE OR IMPIDE SIGHT LINES BETWEEN THREE (3) AND SIX (6) FEET IN HEIGHT SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE EASEMENT AREAS. VDOT SHALL HAVE THE RIGHT AT ANYTIME TO ENTER INTO THE SIGHT DISTANCE EASEMENT AREAS TO REMOVE ANY OBJECT, MATERIAL OR OTHER OBSTRUCTION THAT HINDERS CLEAR SIGHT ACROSS THE AREA.
 5. DRAINAGE EASEMENT IMPROVEMENTS SERVING ROADWAYS MAINTAINED BY VDOT WILL BE MAINTAINED BY VDOT ONLY AS REQUIRED TO MAINTAIN VDOT'S FACILITIES LOCATED WITHIN SUCH EASEMENTS, AND TO PROTECT THE NORTH TUCKAHOE BRIDGE ROAD FROM FLOODINGS. ALL OTHER DRAINAGE IS MAINTAINED AS PROVIDED FOR IN THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR TUCKAHOE BRIDGE.
 6. NOTWITHSTANDING THE RIGHTS CONFERRED UPON GOOCHLAND COUNTY AND VDOT UNDER THE DRAINAGE EASEMENTS SET FORTH ON THIS SUBDIVISION PLAT, NEITHER GOOCHLAND COUNTY NOR VDOT SHALL HAVE A AFFIRMATIVE DUTY TO CONSTRUCT OR BUILD ANY WATER DRAINAGE DITCH, OR ANY OTHER IMPROVEMENTS, WITHIN SUCH DRAINAGE EASEMENT.
 7. THE BMP MAINTENANCE AND ACCESS EASEMENTS SHALL BE DEDICATED TO THE HOA OF TUCKAHOE BRIDGE AND SHALL BE THE RESPONSIBILITY OF, AND MAINTAINED IN PERPETUITY BY, HOA OF TUCKAHOE BRIDGE IN ACCORDANCE WITH THE RECORDED BMP/STORMWATER MAINTENANCE AGREEMENTS.
 8. TEMPORARY TURNAROUND EASEMENTS TO BE VACATED UPON EXTENSION OF ROAD.
 9. PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THE LAND ENCLUMBERED BY ANY EASEMENTS WITHIN THEIR PROPERTY.
 10. A PORTION OF THE PROPERTY IS WITHIN A FEMA DEFINED FLOOD PLAIN (FLOOD PLAN X AND A) PANEL NO. 51075C0245B, EFFECTIVE DATE: 12/02/2008

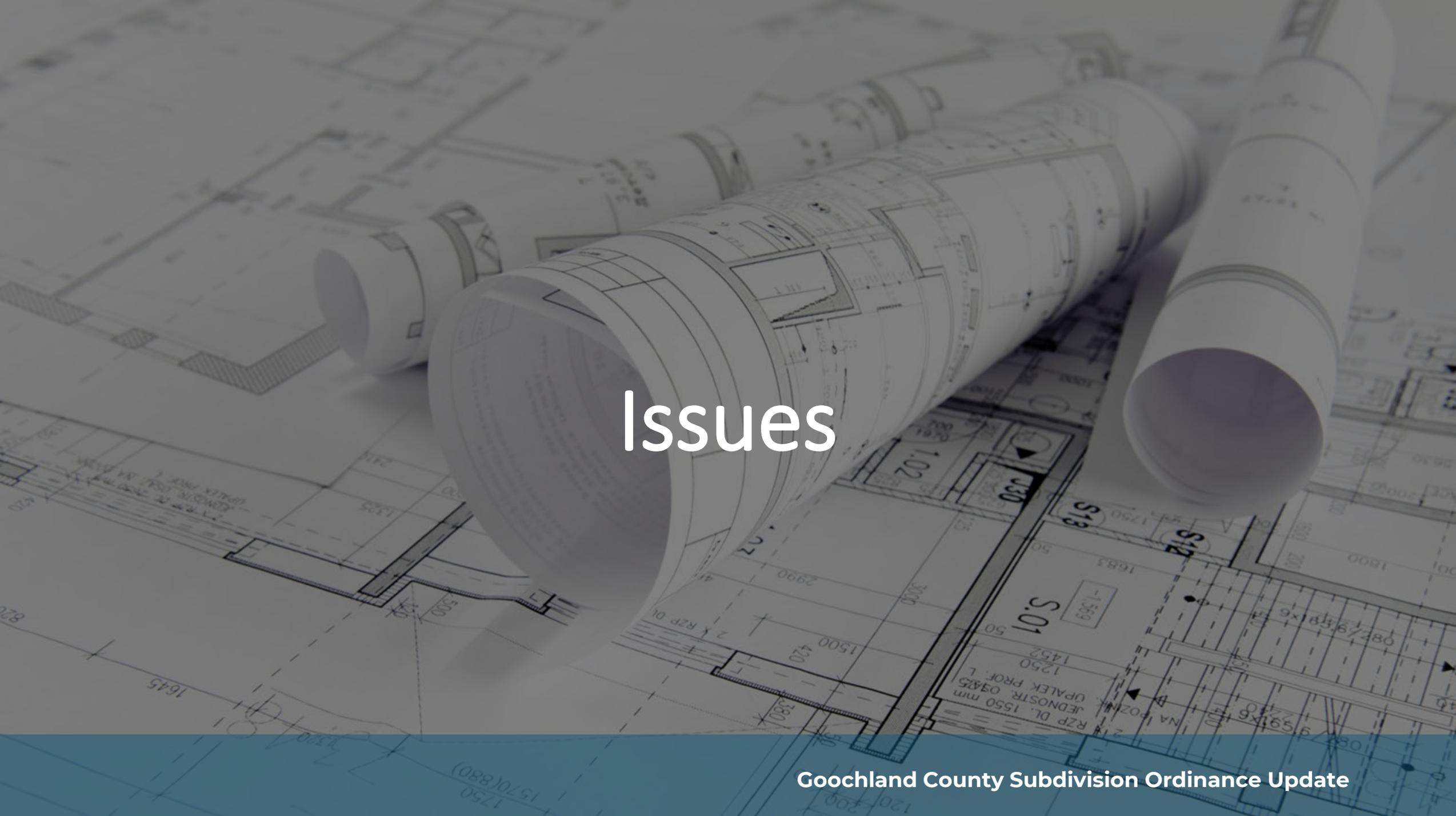


TUCKAHOE BRIDGE SECTION 2
 DOVER DISTRICT
 GOOCHLAND COUNTY, VIRGINIA
 SCALE: N/A
 OCTOBER 2, 2023
 REVISED OCTOBER 24, 2023

Townes
 SITE ENGINEERING
 1 PARK WEST CIRCLE, SUITE 108
 MIDLOTHIAN, VIRGINIA 23114
 PHONE: (804) 748-9011 FAX: (804) 748-2590

Matthew J. Tinsman III
 MATTHEW J. TINSMAN III
 L.S. NO. 2860
 10/24/23
 LAND SURVEYOR

CHECKED BY SURVEYOR: AGT SHEET 1 OF 10

The image features a background of architectural blueprints spread out on a surface. Several large sheets of paper are rolled up into cylinders, with their ends facing the viewer. The blueprints contain various technical drawings, including floor plans, sections, and elevations, with numerous lines, dimensions, and alphanumeric labels. The overall color palette is muted, with greys, blues, and whites. A semi-transparent blue gradient bar is positioned at the bottom of the image.

Issues

Issues

Substance

- **General update (*36 years old*)**
- **State code compliance**
- **Comprehensive Plan compliance**
- **Road standards***
- **Statewide Fire Prevention Code (SFPC)**
- **Non-Residential / Mixed Use**

Process

- **Submittal Requirements**
 - Checklist
 - GIS/mapping
 - Addressing
- **Family Subdivisions**
- **By-Right Splits**
 - Parent tract

* Amendments in progress

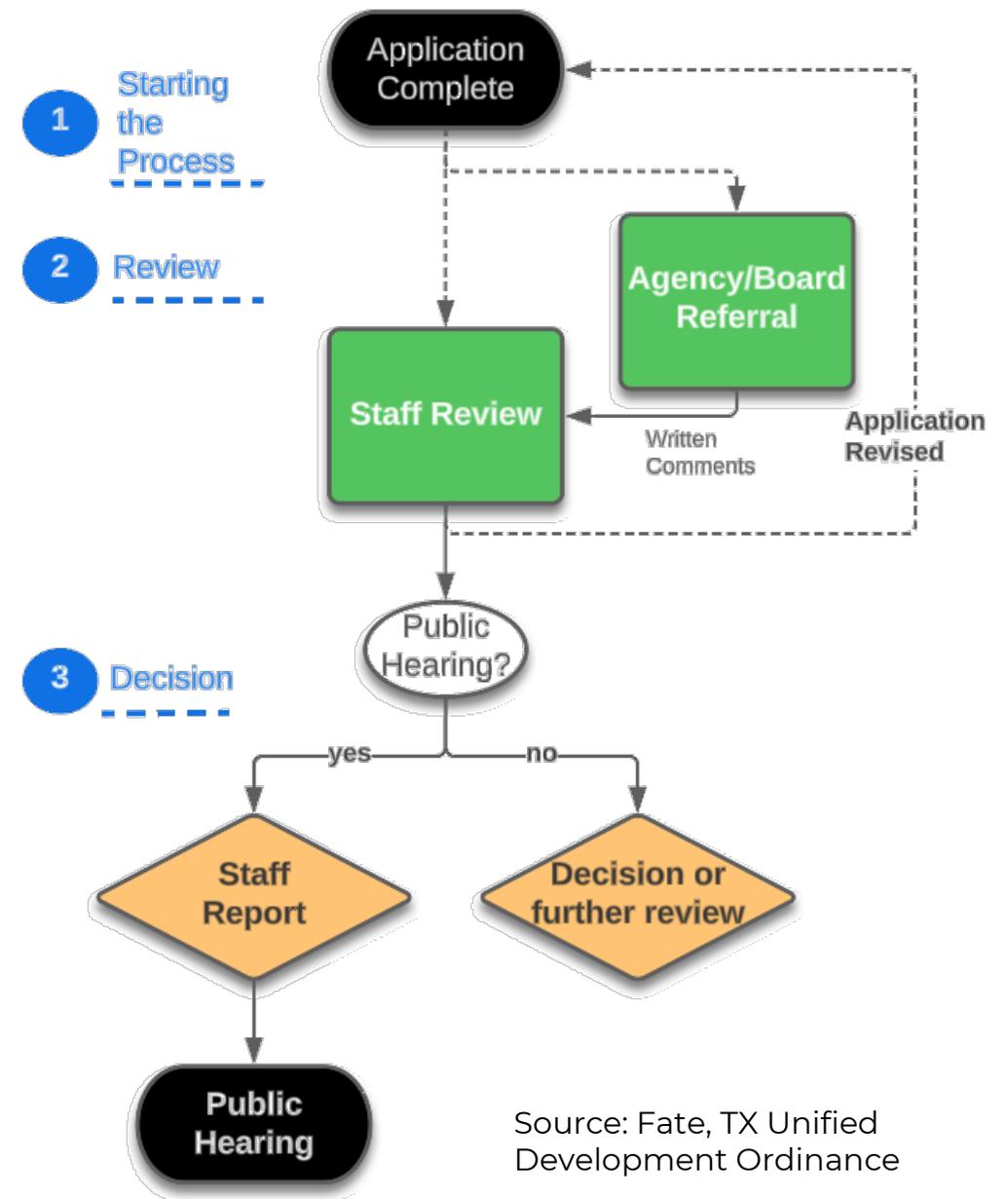
Issues-Drafting

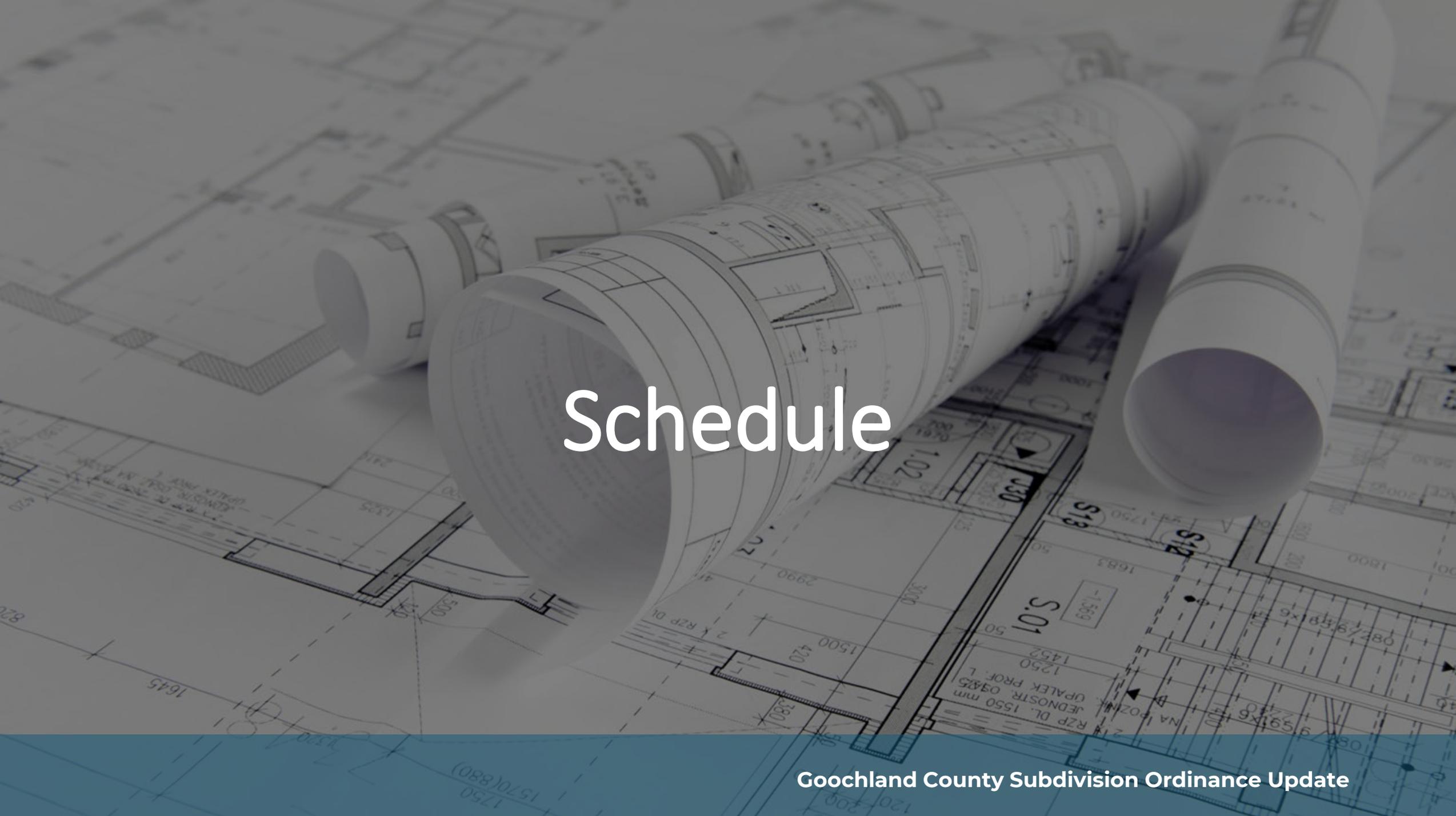
- **Inconsistencies**

- Internal
- External

- **User-Friendliness**

- Graphics
- Tables / matrices
- Flowcharts



The background of the slide features a collection of architectural blueprints. Several sheets are unrolled, showing detailed technical drawings with lines, dimensions, and annotations. One prominent drawing includes a grid system with labels like 'S.01', 'S.02', 'S.12', and 'S.13'. Dimensions such as '1500', '420', '380', and '1645' are visible. A white pen lies across the blueprints, and a large sheet is rolled up in the foreground. The entire scene is overlaid with a semi-transparent blue gradient.

Schedule

Schedule

May - June

June - October

October - February



Diagnostic



Drafting
Development



Adoption &
Finalization

Questions & Open Discussion

Any final thoughts?